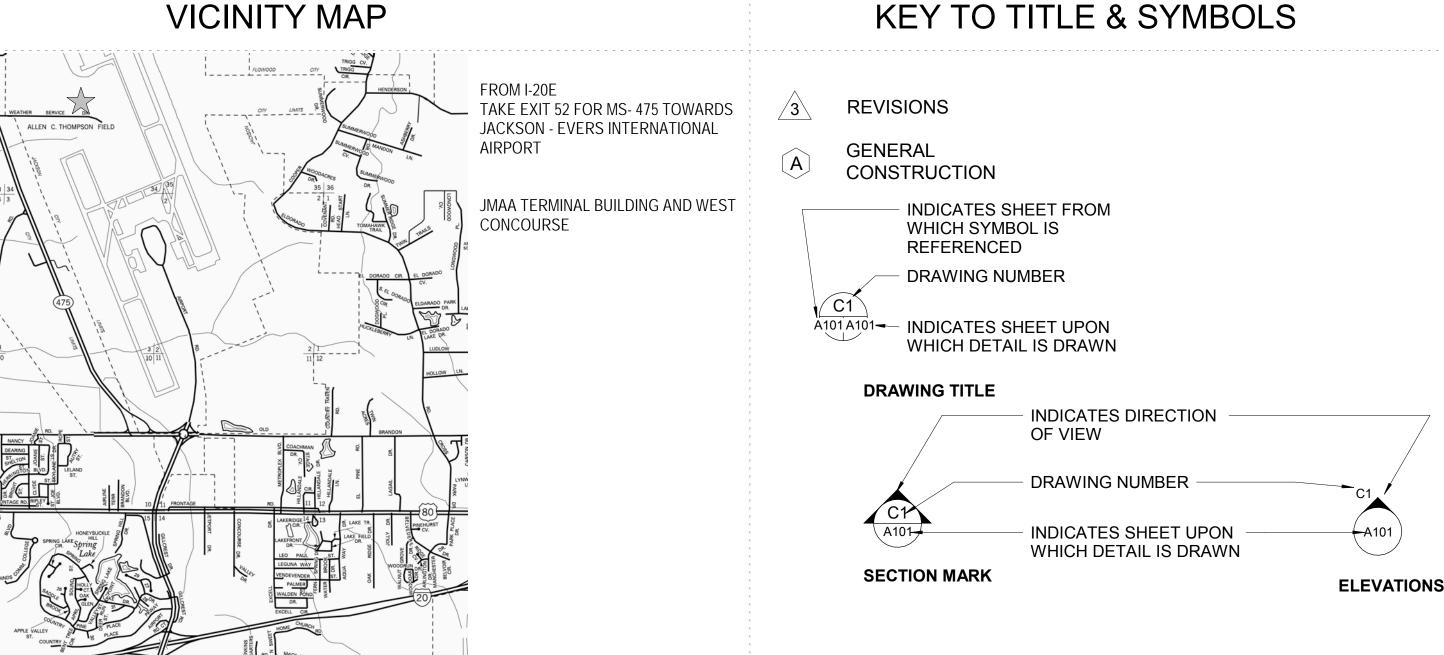
# ROOF REPLACEMENT FOR THE WEST CONCOURSE

# JACKSON MUNICIPAL AIRPORT AUTHORITY

JACKSON, MISSISSIPPI

JULY 08, 2020

### **KEY TO TITLE & SYMBOLS**



## **DRAWING INDEX**

#### -TITLE-

T101 TITLE SHEET

#### -REFERENCE-

#### -ARCHITECTURAL DEMOLITION-

DEMOLITION ROOF MASTER PLAN **DEMOLITION ROOF PLAN - WEST CONCOURSE DEMOLITION ROOF PLAN - WEST CONCOURSE** 

#### -ARCHITECTURAL

**MASTER PLAN - NEW NEW ROOF PLAN - WEST CONCOURSE NEW ROOF PLAN - WEST CONCOURSE ROOF DETAILS ROOF DETAILS ROOF DETAILS** 

#### -MECHANICAL-

MECHANICAL ABBREVIATIONS, LEGENDS, & SYMBOLS MECHANICAL DEMO PLAN OVERALL MECHANICAL DEMO PLAN WEST CONCOURSE ROOF

MECHANICAL PLAN WEST CONCOURSE ROOF

MECHANICAL DETAILS

### LAYOUT AREA



- **GENERAL CONTRACTOR TO** RESTORE THE SITE TO ITS PRE-THE WORK OF CONTRACTOR IS TO BE REPAIRED WITH FILL AND SODDING AS REQUIRED.
- GENERAL CONTRACTOR TO RESTORE THE PARKING LOT TO ITS PRE-CONSTRUCTION CONDITION. ANY DAMAGE TO THE LOT DUE TO THE WORK OF CONTRACTOR IS TO BE REPAIRED.

LAYDOWN

PROPOSED LAYDOWN AREA

TITLE SHEET



FOR

Number:

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Sheet Title

Sheet Number 1 of 23

T101

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WEST CONCOURSE
JACKSON MUNICIPAL AIRPORT AUTHORITY
JACKSON, MISSISSIPPI

Project Number: \_\_\_\_\_\_18.010

Date: \_\_\_\_\_\_08.JULY.2020

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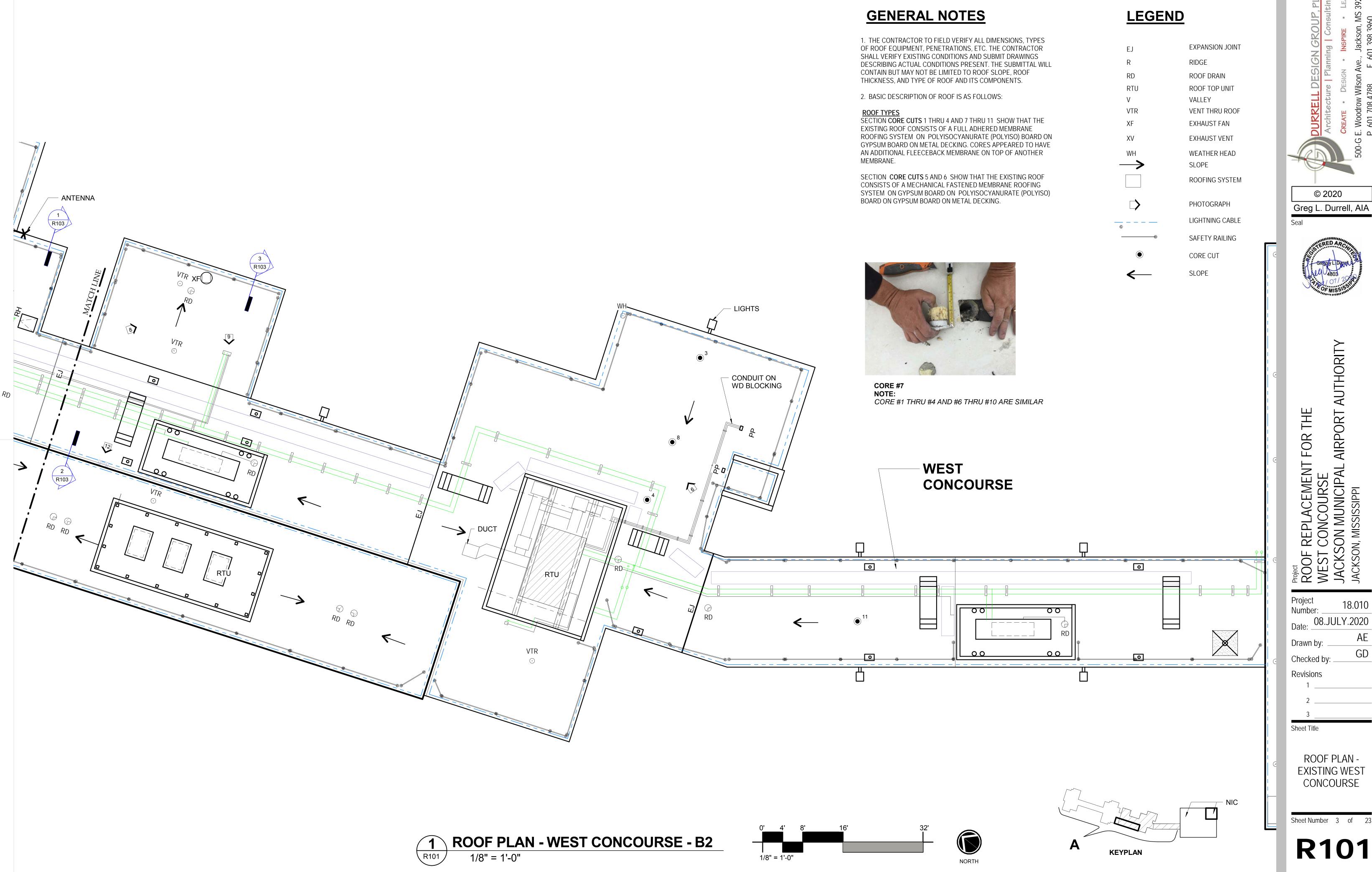
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ROOF PLAN -EXISTING MASTER PLAN

Sheet Number 2 of 23

R100

ROOF PLAN - EXISTING MASTER PLAN
1" = 20'-0"



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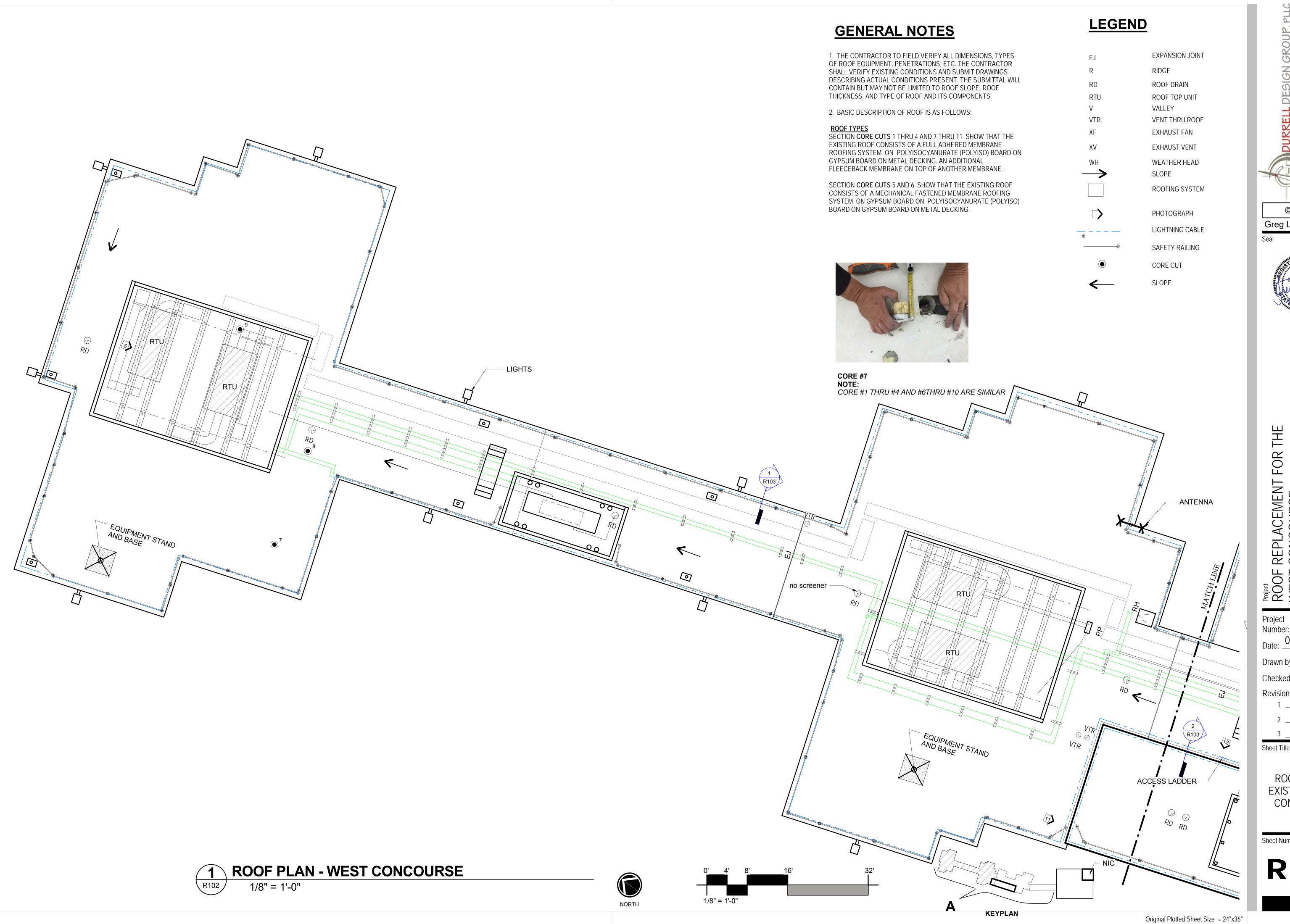
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Sheet Title

ROOF PLAN -**EXISTING WEST** CONCOURSE

Sheet Number 3 of 23

**R101** 



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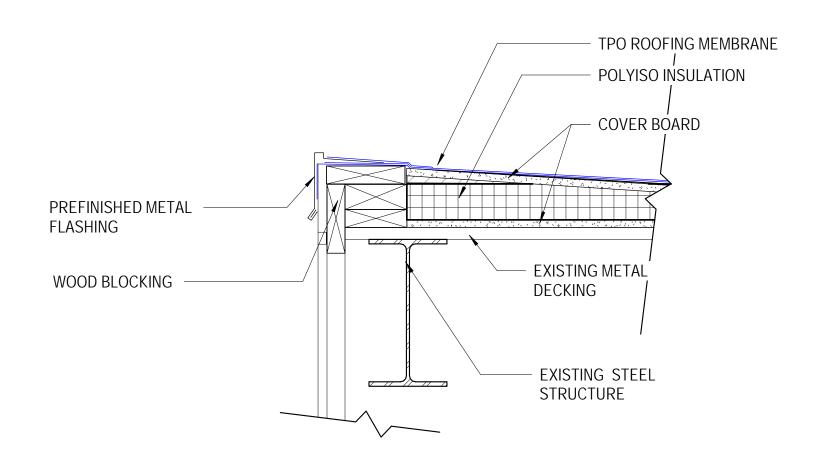
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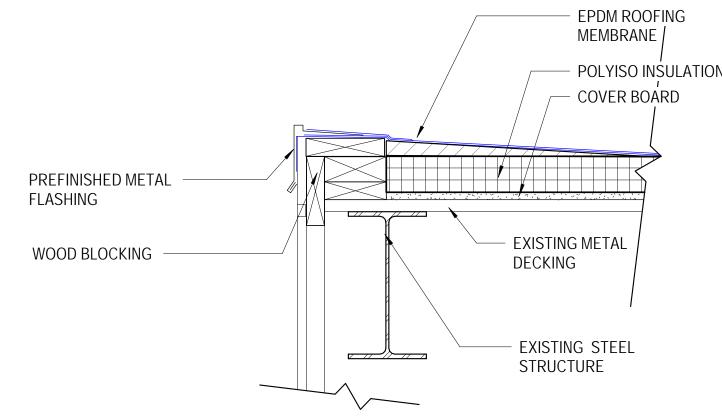
ROOF PLAN -**EXISTING WEST** CONCOURSE

Sheet Number 4 of 23

R102







3 ROOF DETAIL- TYPICAL 1 1/2" = 1'-0"

### **GENERAL NOTE**

 THIS SHEET IS FOR INFORMATIONAL PURPOSED ONLY AND MAY NOT DEPICT ACTUAL CONDITIONS. GC SHALL VERIFY EXISTING CONDITIONS AND SUBMIT DRAWINGS DESCRIBING ACTUAL CONDITIONS.

- POLYISO INSULATION

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Sheet Title	

**EXISTING** DETAILS

Sheet Number 5 of 23

R103

15.

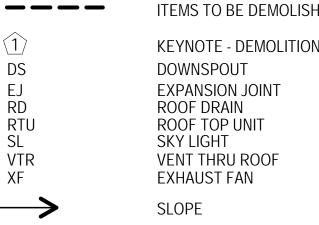
14.

13.

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16.

## REMOVE EXISTING ROOFING SYSTEM TO EXISTING REMOVE EXISTING ROOF HATCH AND ALL OF ITS REMOVE EXISTING EXHAUST FAN AND ALL OF ITS REMOVE EXISTING SKYLIGHT AND ALL OF ITS REMOVE, SALVAGE, AND REINSTALL EXISTING REMOVE EXISTING STANDING SEAM ROOF PANEL REMOVE EXISTING GUTTER AND DOWNSPOUT AND REQUIRED TO REMOVE EXISTING ROOF SYSTEM.



PHOTOGRAPH

**PURPOSES ONLY** 

**NOTE**: PHOTO ARE FOR REFERENCE

### **GENERAL DEMOLITION NOTES**

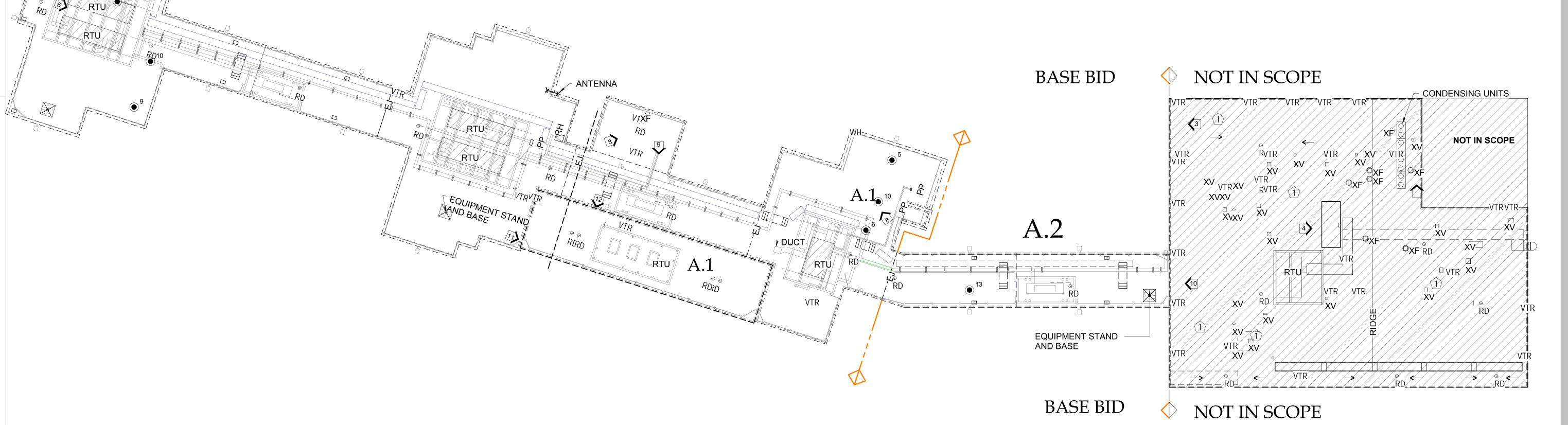
1. IT IS THE INTENT OF THESE DRAWINGS TO AID THE CONTRACTOR IN BIDDING THE PROJECT BY PROVIDING INFORMATION ABOUT MATERIALS AND THEIR REMOVAL. HOWEVER, THE CONTRACTOR IS ADVISED TO VISIT THE SITE PRIOR TO SUBMITTING HIS BID SINCE ALL CONDITIONS MAY NOT BE ADDRESSED.

2. THE SCOPE OF WORK CONSISTS OF THE CONTRACTOR DEMOLISHING THE EXISTING ROOF SYSTEM IN ITS ENTIRETY DOWN TO THE EXISTING DECKING. THIS WORK WILL INCLUDE, BUT NOT BE LIMITED TO, ROOF TYPE, INSULATION, RELATED FLASHING, AND EDGE METAL.

3. THE CONTRACTOR SHALL INSPECT EXISTING DECKING ONCE ROOF SYSTEM IS REMOVED AND ENSURE THE DECKING IS LEVEL BEFORE INSTALLING NEW ROOF SYSTEM.

4. THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. TYPES OF ROOF EQUIPMENT. PENETRATIONS, ETC. THE CONTRACTOR SHALL CORE EXISTING ROOF TO VERIFY EXISTING CONDITIONS AND SUBMIT DRAWINGS DESCRIBING ACTUAL CONDITIONS PRESENT. THE SUBMITTAL WILL CONTAIN BUT MAY NOT BE LIMITED TO ROOF SLOPE, ROOF THICKNESS, AND TYPE OF ROOF AND ITS COMPONENTS.

5. THE EXISTING MECHANICAL ITEMS SUCH AS ROOF TOP UNITS. EXHAUST FANS. PIPING ARE TO REMAIN OR BE REINSTALLED UNLESS OTHERWISE NOTED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.







FOR

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Seal

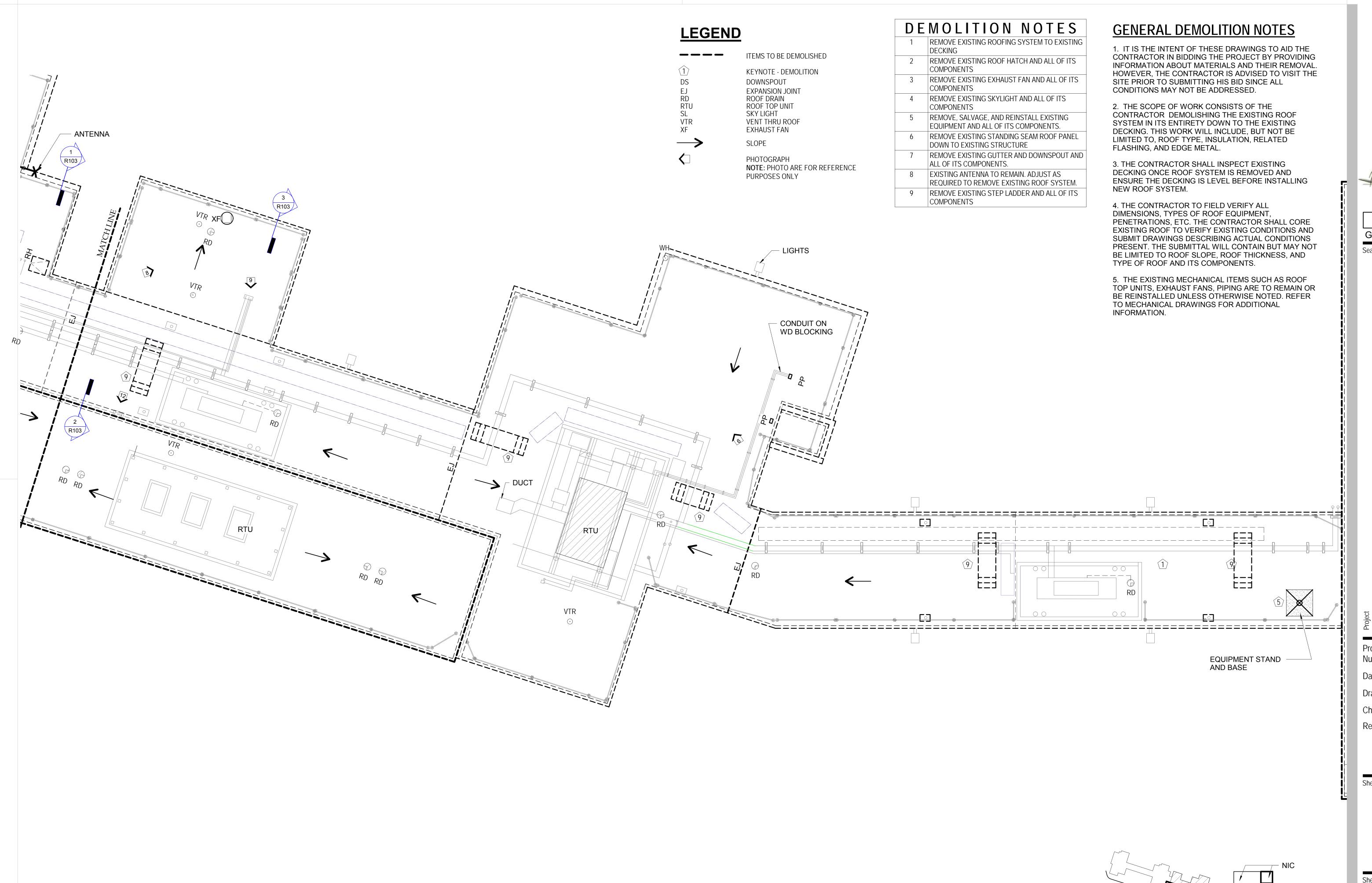
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Sheet Title

**DEMOLITION ROOF MASTER** PLAN

Sheet Number 7 of 23

**D100** 



**ROOF PLAN - WEST CONCOURSE** 

1/8" = 1'-0"

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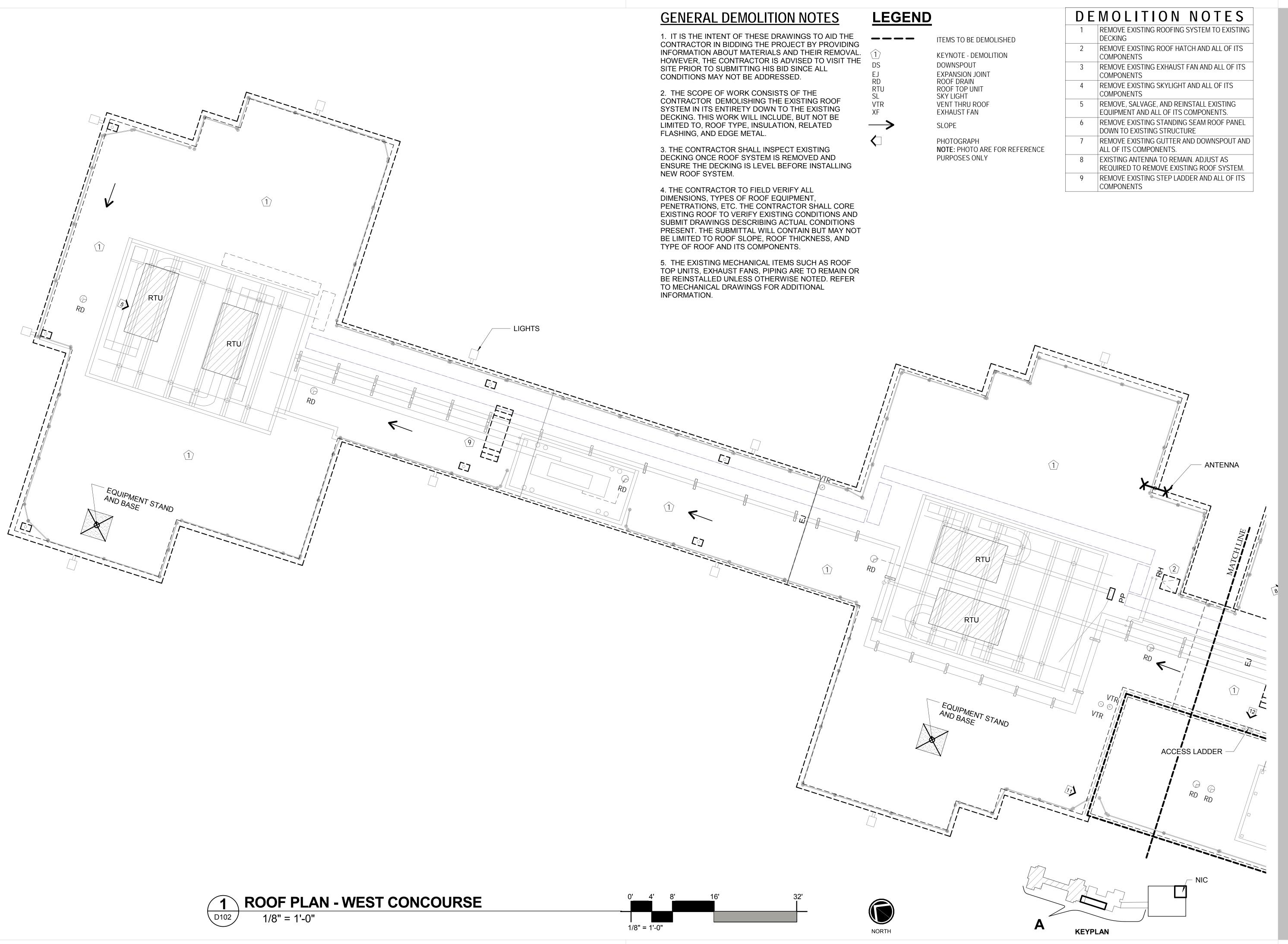
**DEMOLITION** 

ROOF PLAN -WEST CONCOURSE

Sheet Number 8 of 23

**D101** 

**KEYPLAN** 



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ROOF REPLACEMENT FOR THE
WEST CONCOURSE
JACKSON MUNICIPAL AIRPORT AUTHORITY
JACKSON, MISSISSIPPI

Project 18.010
Number: \_\_\_\_\_\_\_ 18.010
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Sheet Title

DEMOLITION ROOF PLAN -WEST CONCOURSE

Sheet Number 9 of 23

**D102** 

WEATHER HEAD

PHOTOGRAPH

CORE CUT

SLOPE

VENT THRU ROOF **EXHAUST FAN** ΧV EXHAUST VENT

SLOPE **ROOFING SYSTEM** 

LIGHTNING CABLE SAFETY RAILING

### **GENERAL ROOF NOTES:**

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR TO ALSO FURNISH ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT IN AN ACCEPTABLE MANNER FOR THE USE, OCCUPANCY AND OPERATION BY THE OWNER.

2. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS THAT WILL AFFECT CONSTRUCTION AS INDICATED ON THE CONTRACT DOCUMENTS. IT SHALL BE ASSUMED THAT THE CONTRACTOR IS FULLY AWARE OF ALL VISIBLE EXISTING CONDITIONS AT THE TIME HE SUBMITS HIS BID.

3. THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, TYPES OF ROOF EQUIPMENT, PENETRATIONS, ETC. THE CONTRACTOR TO VERIFY EXISTING CONDITIONS AND SUBMIT DRAWINGS DESCRIBING ACTUAL CONDITIONS PRESENT. THE SUBMITTAL WILL CONTAIN BUT MAY NOT BE LIMITED TO ROOF SLOPE, ROOF THICKNESS, AND TYPE OF ROOF AND ITS COMPONENTS.

RECOVERY BOARD, POLYISO INSULATION, TAPERED INSULATION, 5/8" RECOVERY BOARD, SINGLE PLY ROOFING MEMBRANE, BASE FLASHING, AND METAL COMPONENTS. 5. IN THE EVENT THAT ANY EXISTING ROOF TOP UNITS ARE REMOVED,

4. THE SCOPE OF WORK FOR SECTION A CONSISTS OF INSTALLING A 5/8"

THE CONTRACTOR WILL RECONNECT EXISTING ROOF TOP UNITS BACK INTO FULLY OPERATIONAL SERVICE INCLUDING UNIT CONTROLS. ALL GAS LINES, ELECTRICAL, AND DUCTWORK TO BE RECONNECTED AND MODIFIED AS REQUIRED.

6. EXISTING PITCH POCKET. FLASH AND COUNTERFLASH.

7. INSULATION THICKNESS SHOWN THUSLY (+2). THIS IS THE THICKNESS OF THE TAPERED INSULATION ONLY AND DOES NOT INCLUDE COVER BOARD OR ROOFING MEMBRANE. ADD THE POLYISO INSULATION TO THIS THICKNESS TO OBTAIN TOTAL INSULATION THICKNESS.

PLANS SHOW ONLY THE THICKNESS OF TAPERED INSULATION. CONTRACTOR IS TO PROVIDE TAPERED INSULATION DRAWINGS.

8. ROOF SLOPE OBTAINED WITH THE TAPERED INSULATION AT A MINIMUM OF 1/8"=1' EXCEPT FOR CRICKETS WHOSE SLOPE IS OBTAINED BY ADDITIONAL POLY-ISO INSULATION.

9. CRICKETS ARE TO BE CONSTRUCTED AT 1/8":1'-0" MINIMUM SLOPE FROM MEAN ELEVATION TO RIDGE (R). SEE DIAGRAM A. IN PLAN CRICKETS ARE TO BE CONSTRUCTED IN A 2:1 RATIO. SEE DIAGRAM B.

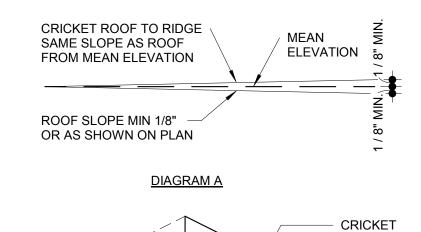
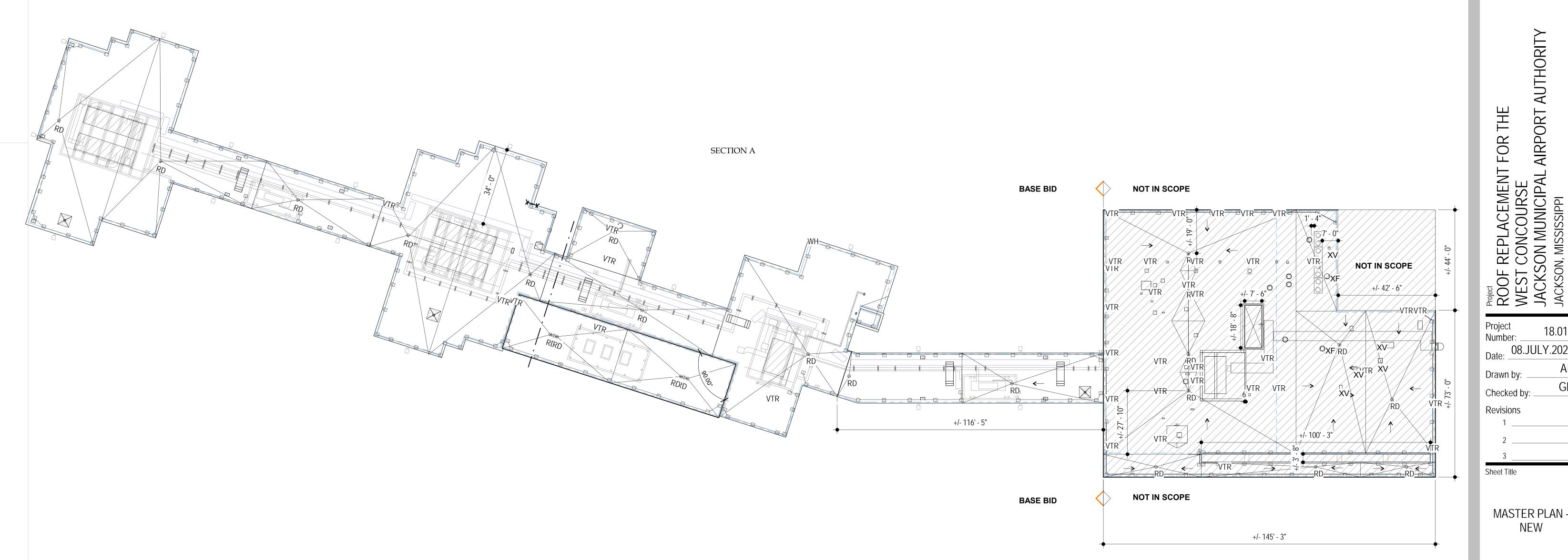


DIAGRAM B

DRAIN

Greg L. Durrell, AIA 10. EXISTING ROOF DECK IS ASSUMED TO BE FLAT UNLESS OTHERWISE NOTED. FORM SLOPE WITH TAPER INSULATION.





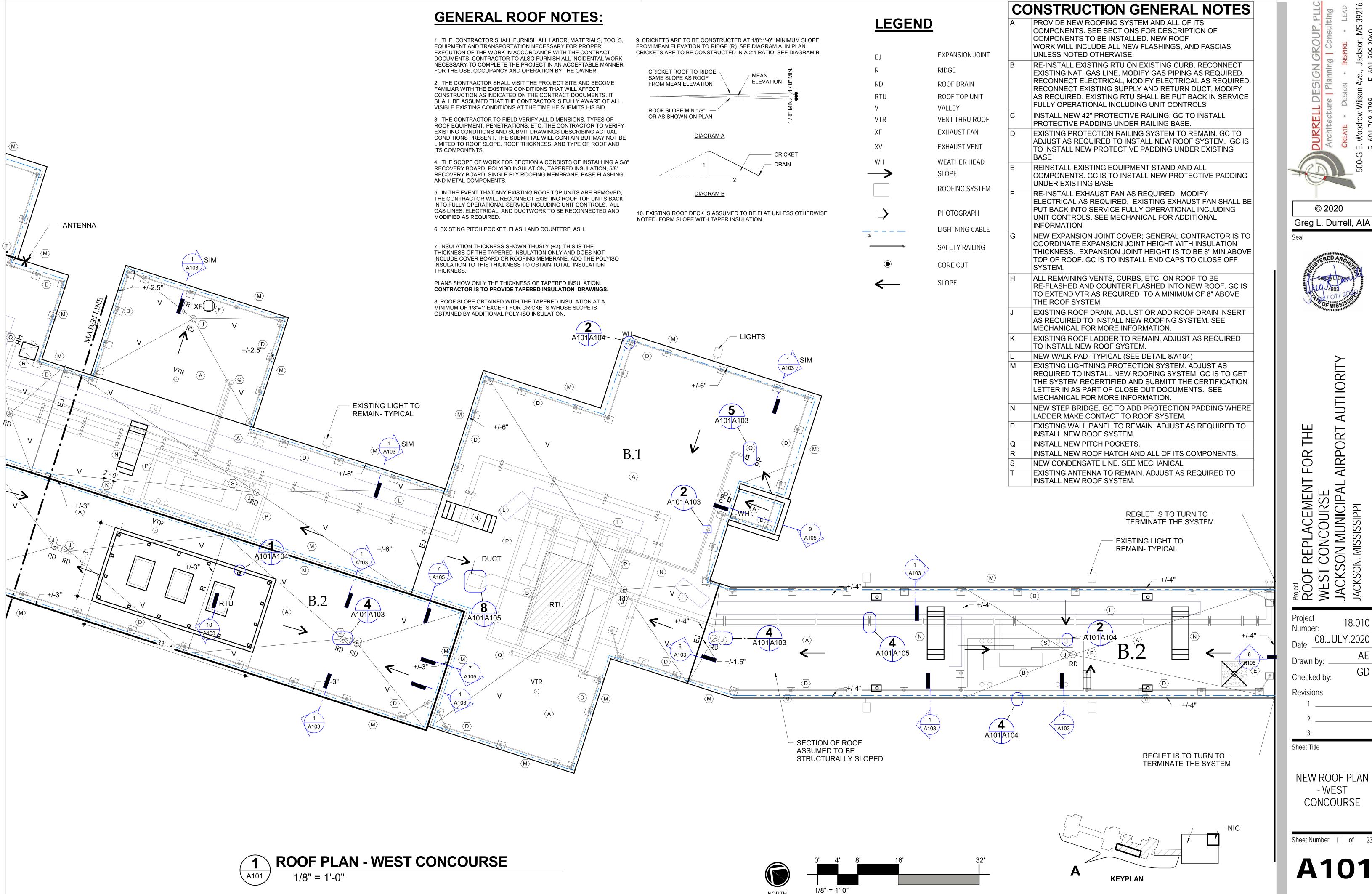
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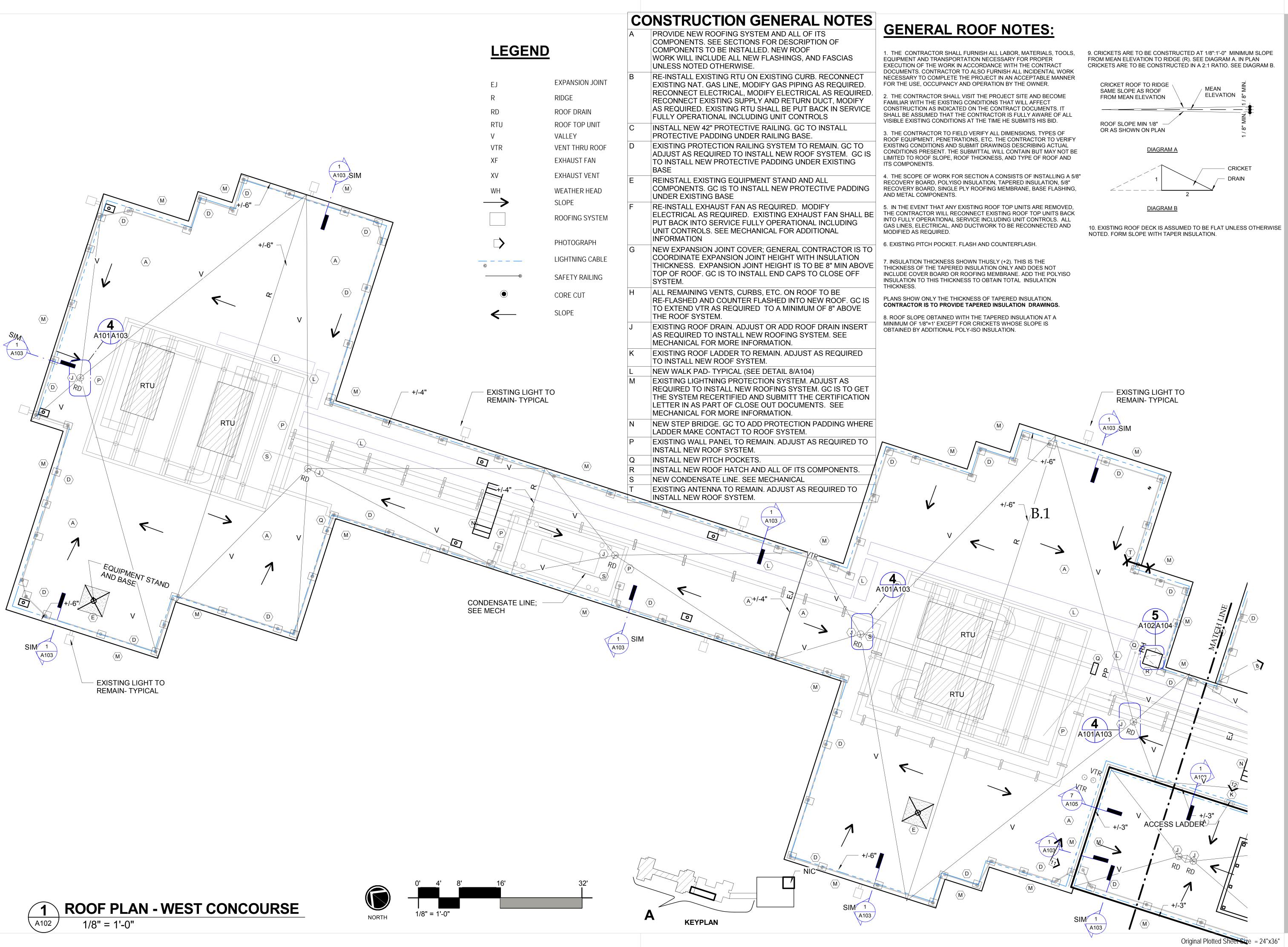
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NEW ROOF PLAN - WEST CONCOURSE

Sheet Number 11 of 23



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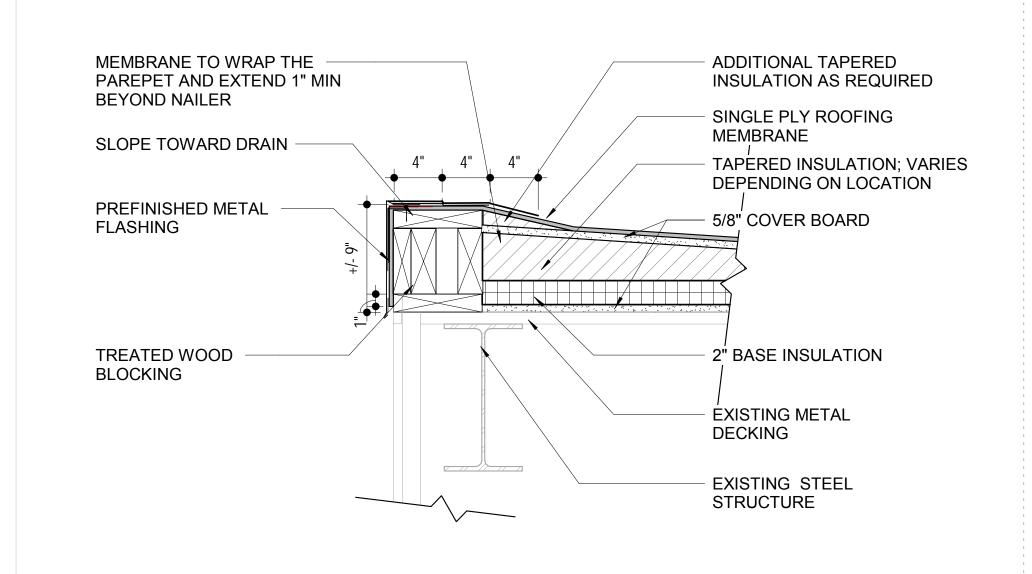
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**NEW ROOF** PLAN - WEST CONCOURSE

Sheet Number 12 of 23

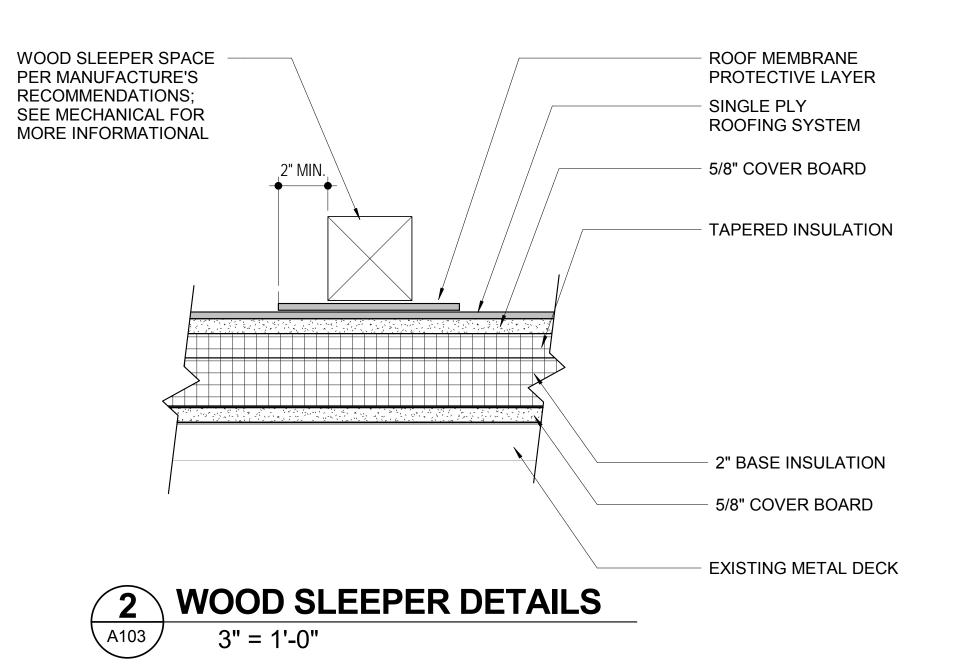


**ROOF DETAIL-TYPICAL** 

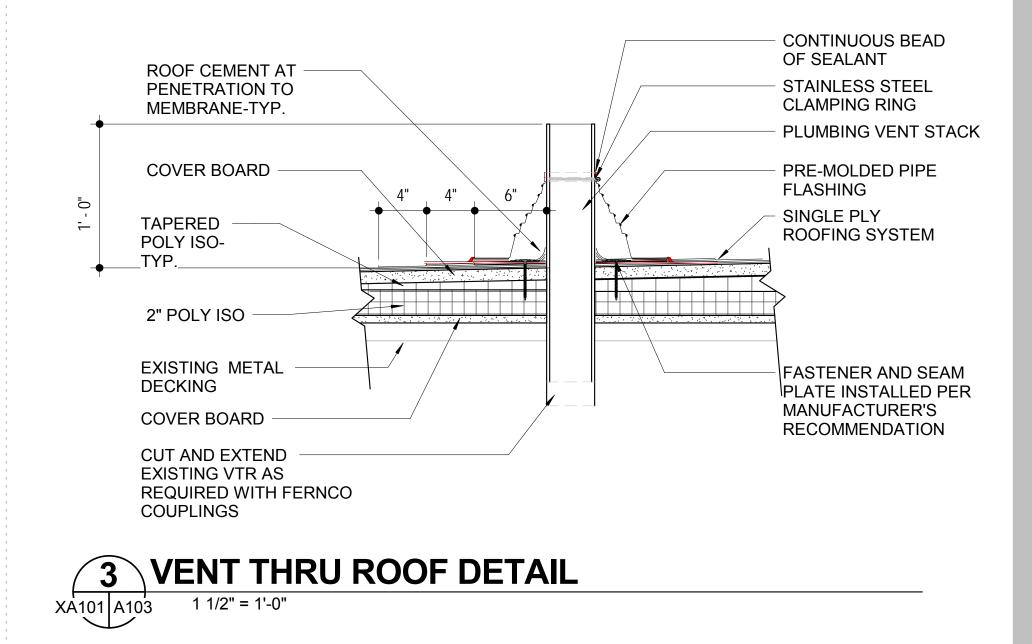
**EDGE CONDITION** 

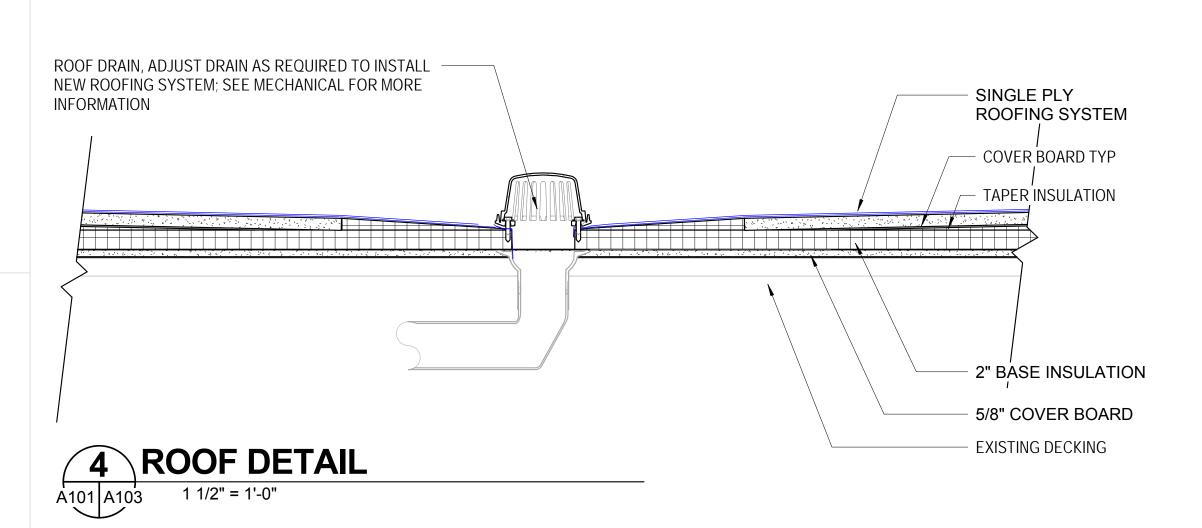
1 1/2" = 1'-0"

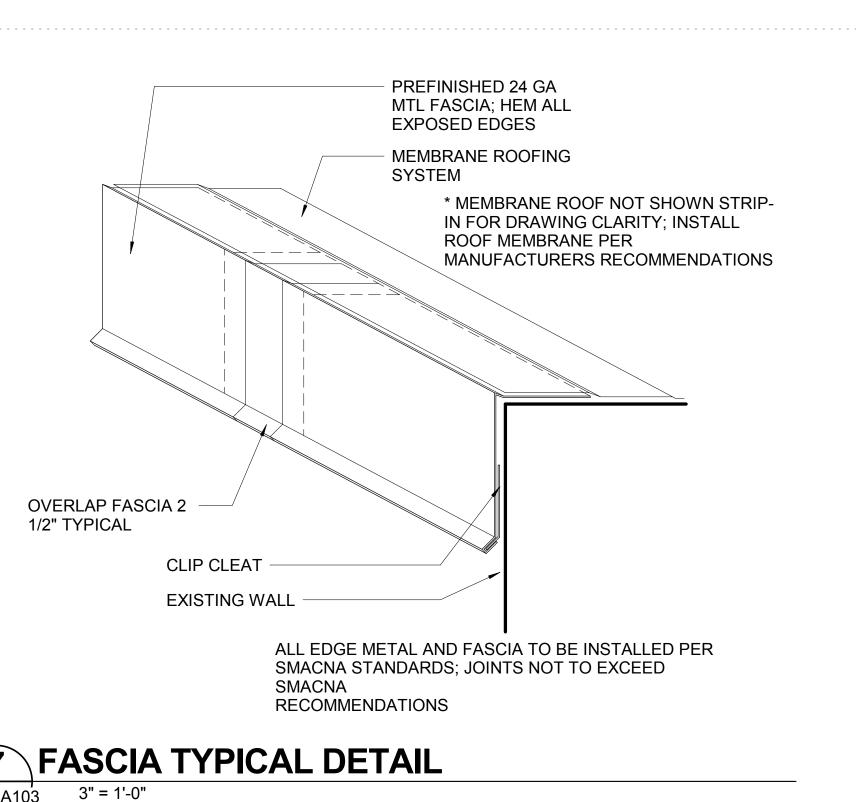
A101 A103

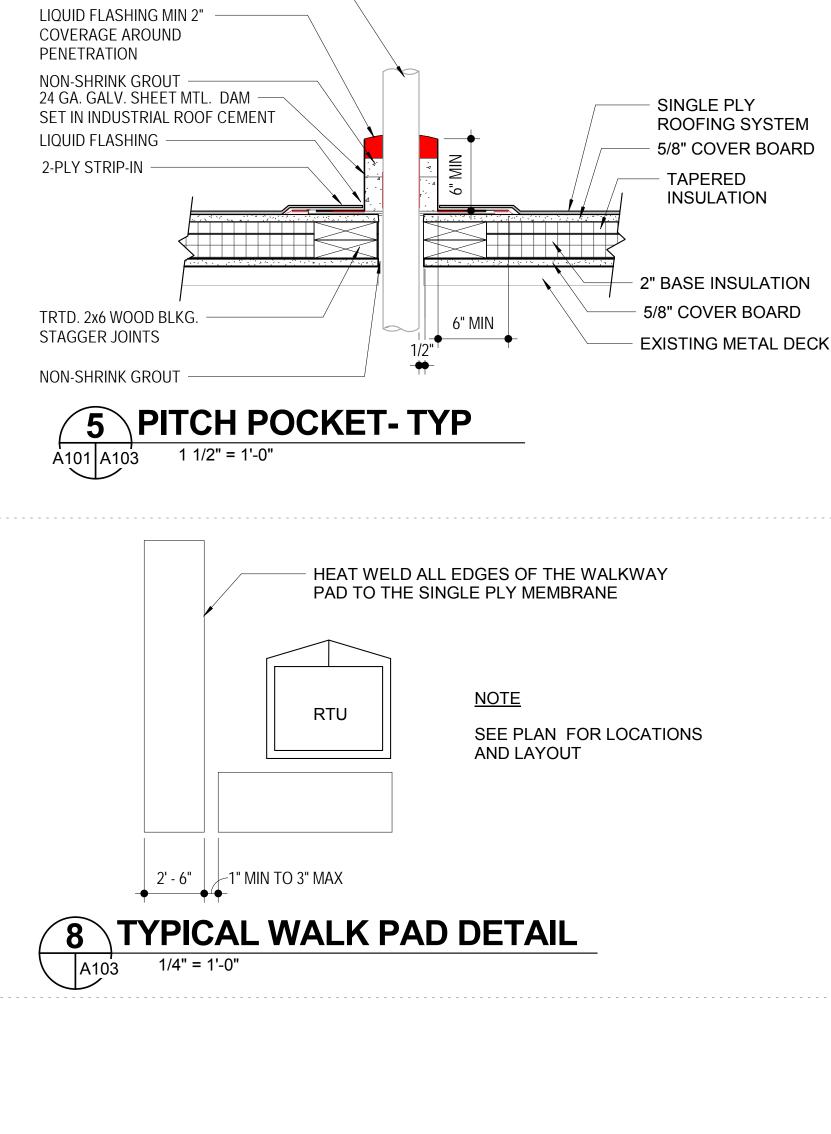


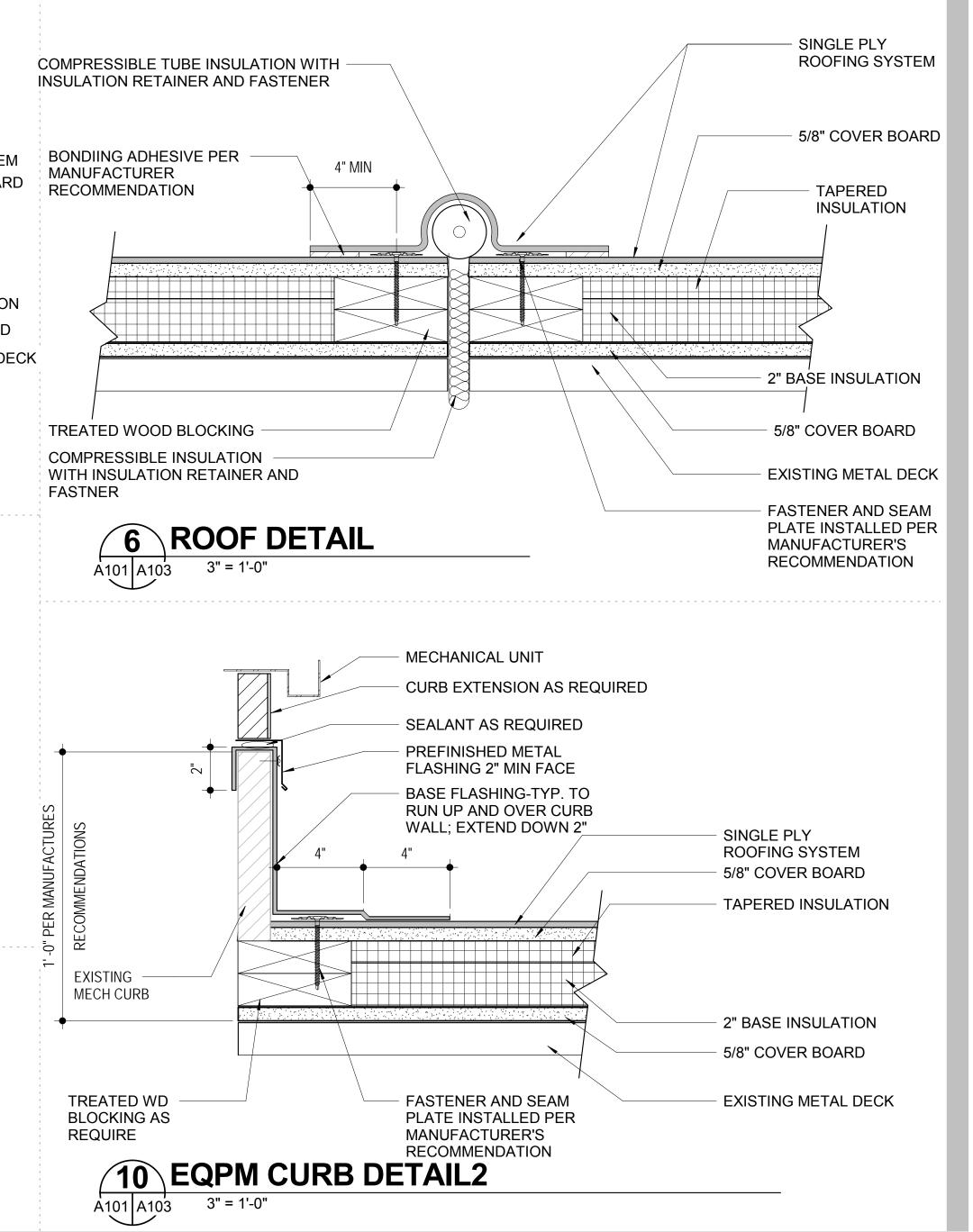
**EXISTING METAL SLEEVE** 











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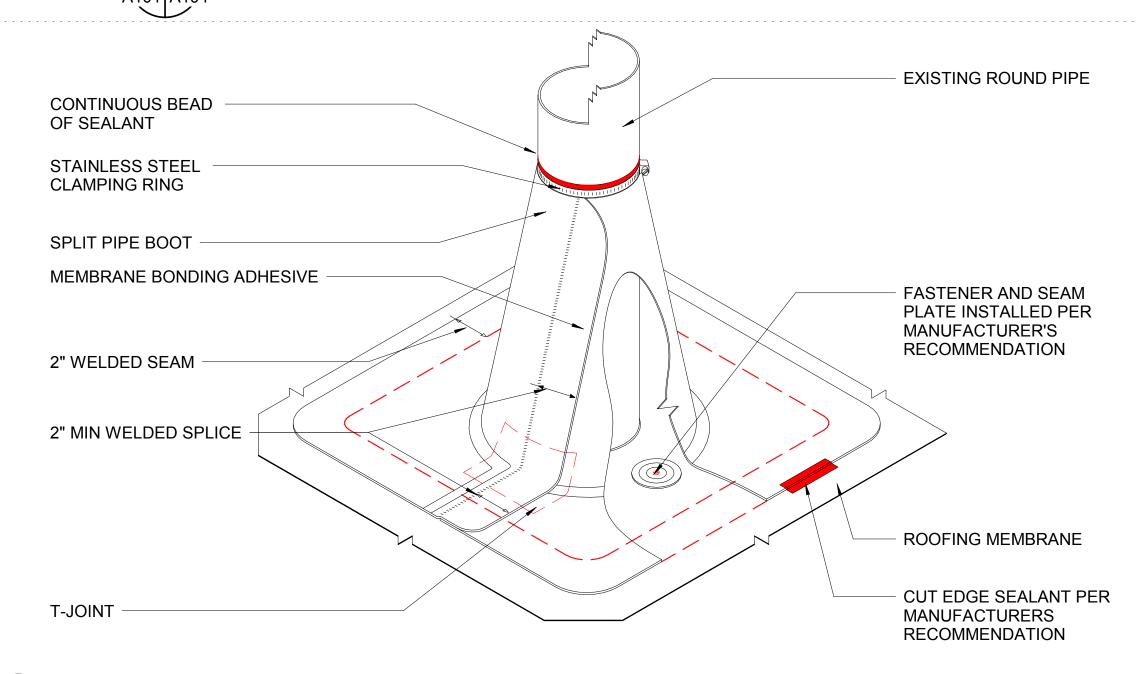


ROOF REPLACEMENT FOR THE WEST CONCOURSE JACKSON, MISSISSIPPI

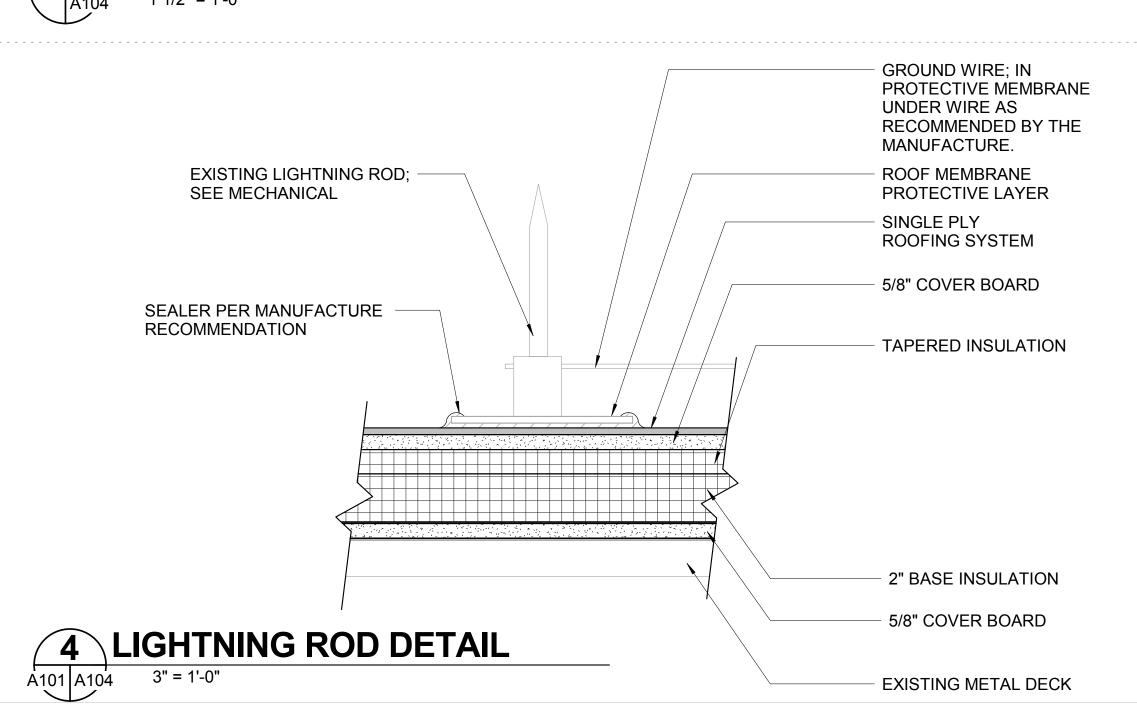
ROOF DETAILS

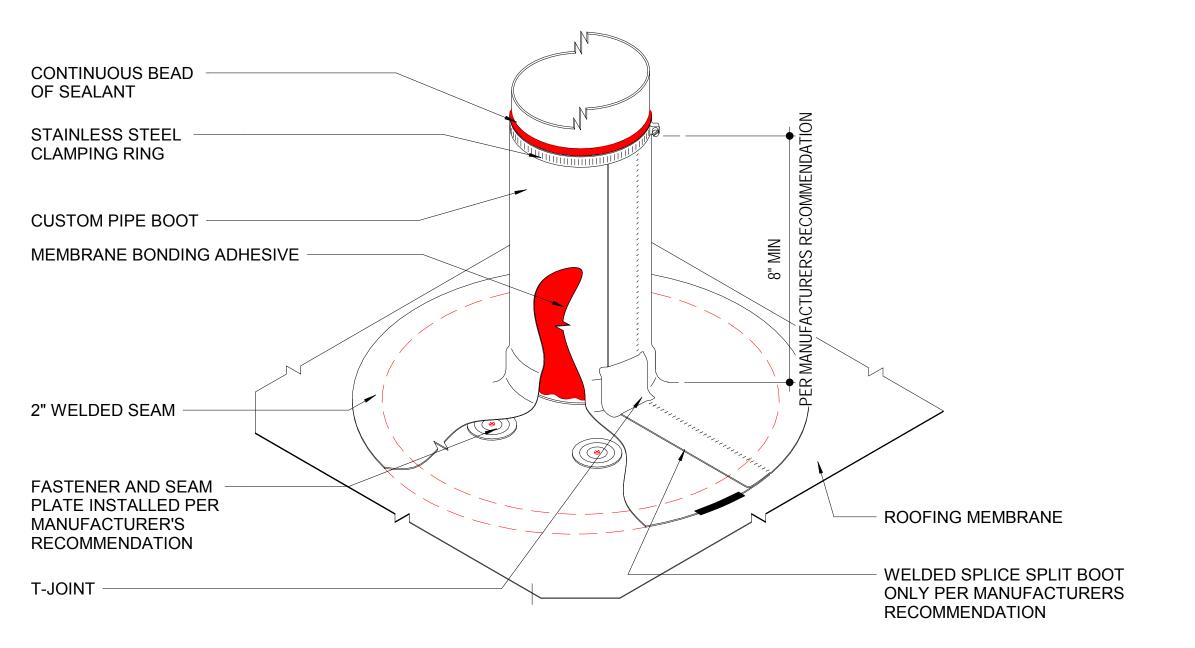
Sheet Number 13 of 23

# 1 SQUARE PIPE PENTRATION DETAIL

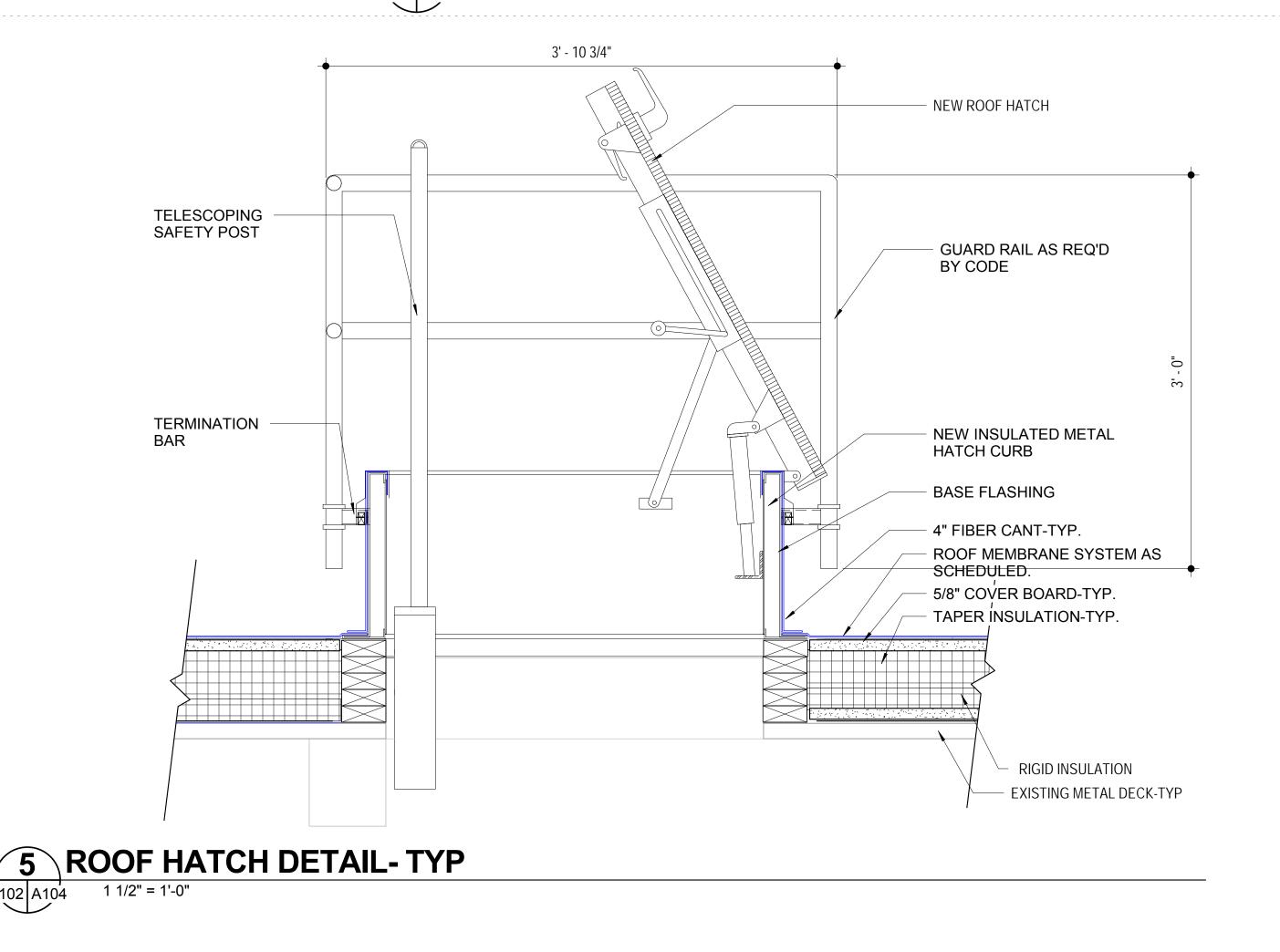


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# ROUND PIPE PENTRATION DETAIL A101 A104 1 1/2" = 1'-0"



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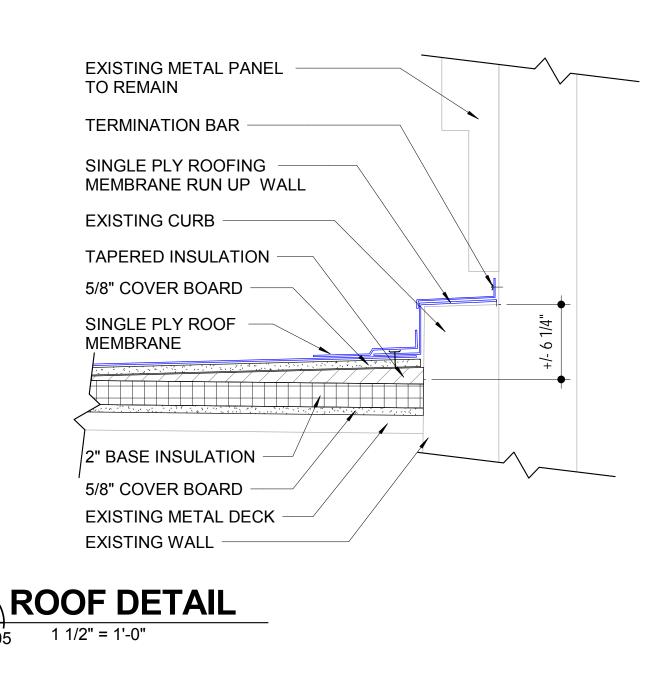
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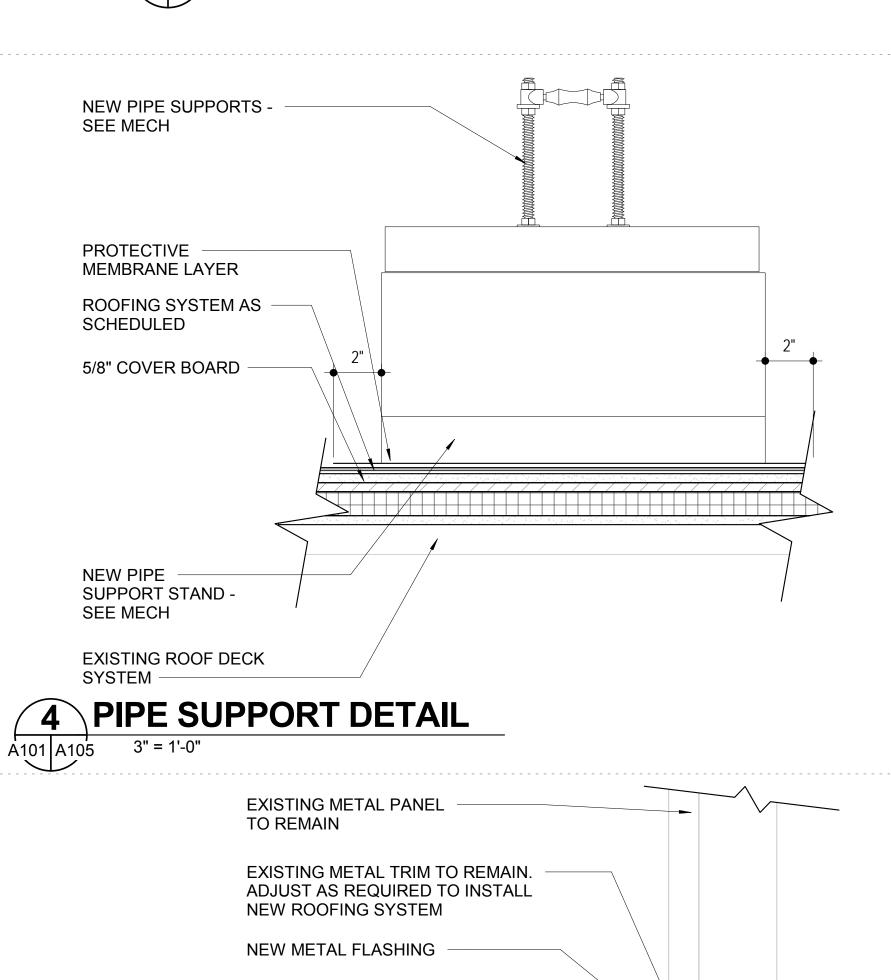
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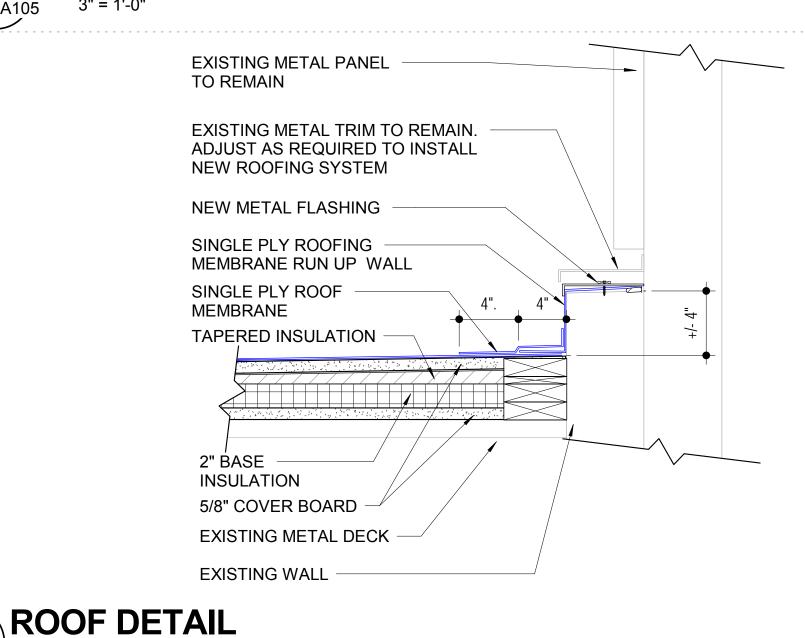
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ROOF DETAILS

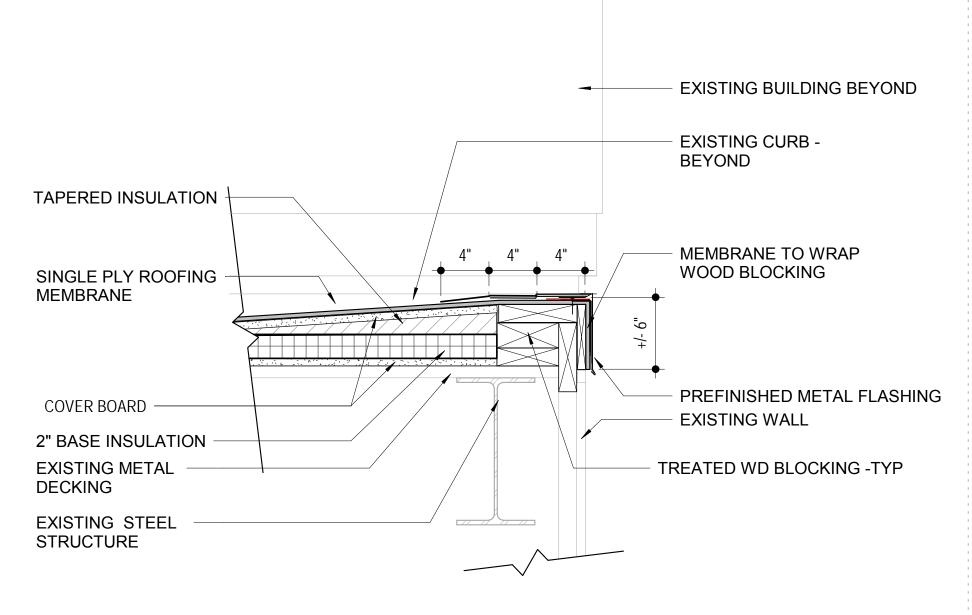
Sheet Number 14 of 23







1 1/2" = 1'-0"



### **ROOF DETAIL EDGE CONDITION** 1 1/2" = 1'-0"

COVER BD - TYP

SINGLE PLY

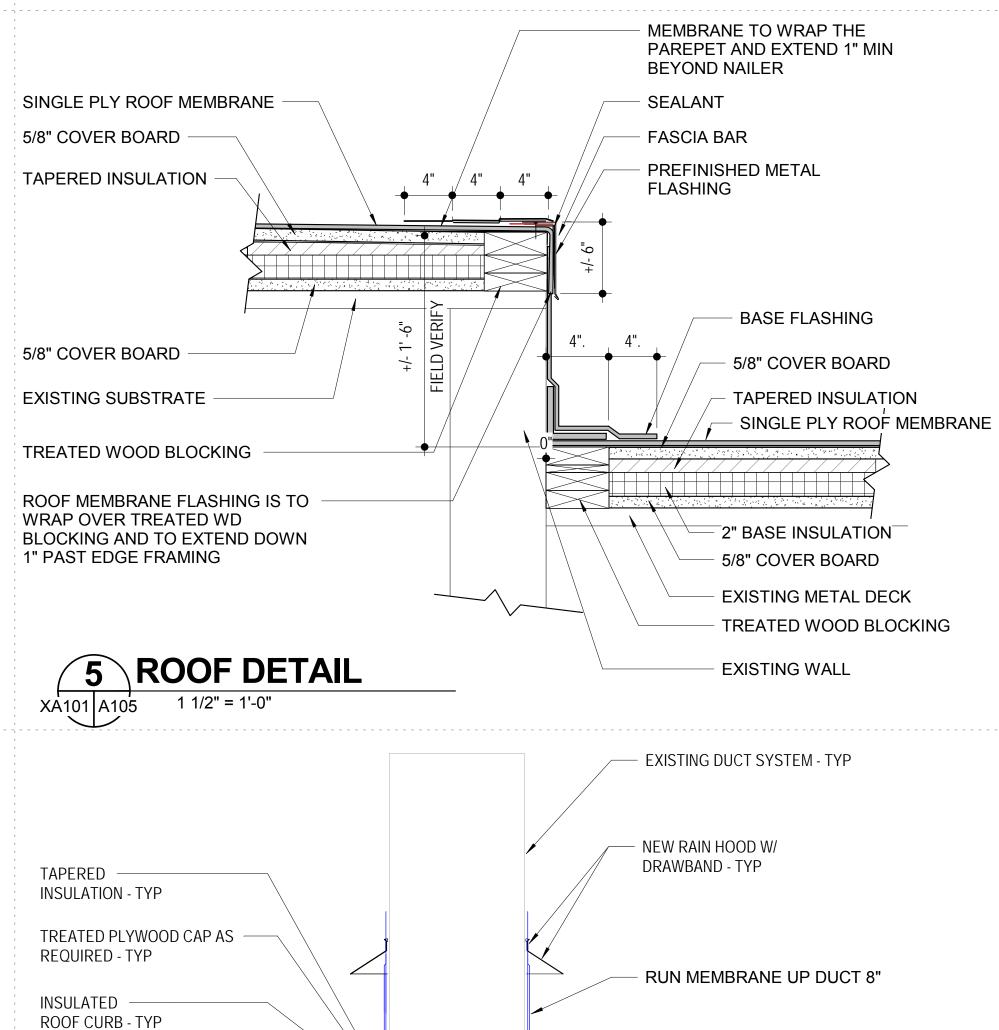
MEMBRANE

**ROOFING - TYP** 

EXISTING METAL DECK -

8 ROOF DETAIL

1 1/2" = 1'-0"

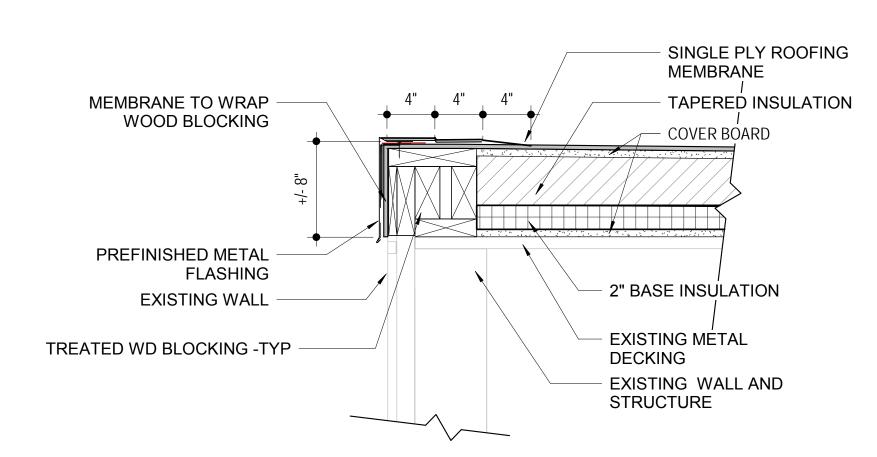


INSULATION - TYP

INSULATION - TYP

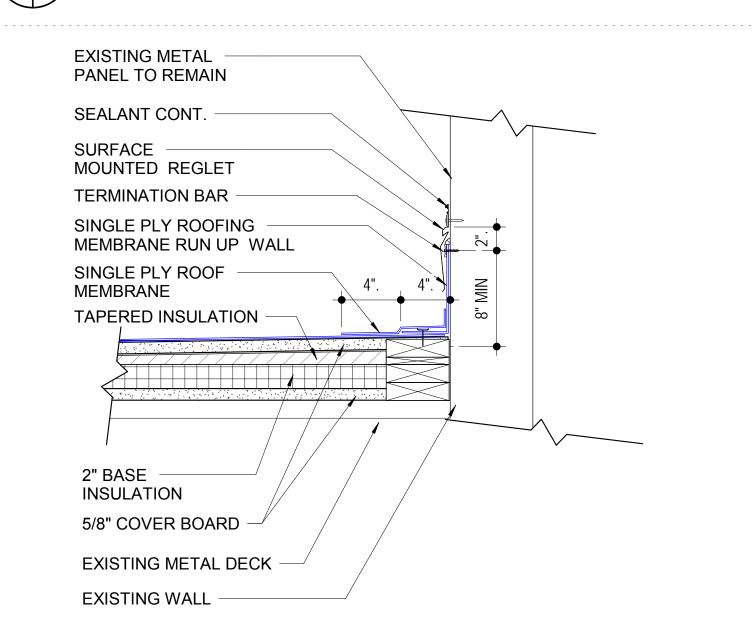
– 2" RIGID

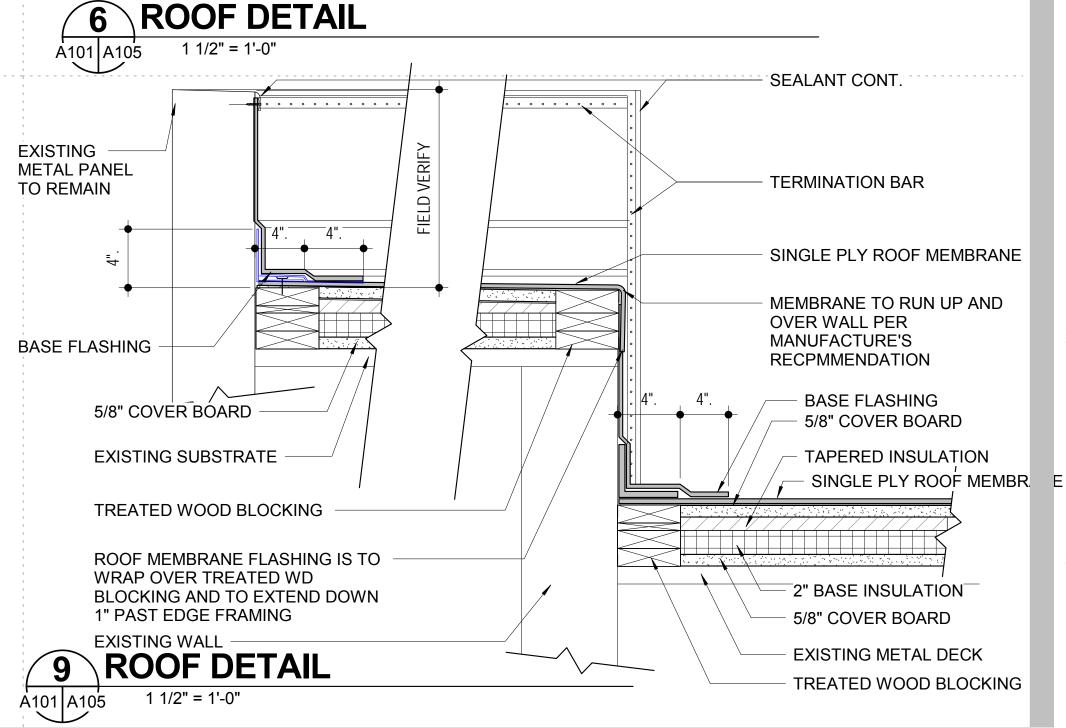
TREATED WD BLOCKING -





1 1/2" = 1'-0"





A105

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**ROOF DETAILS** 

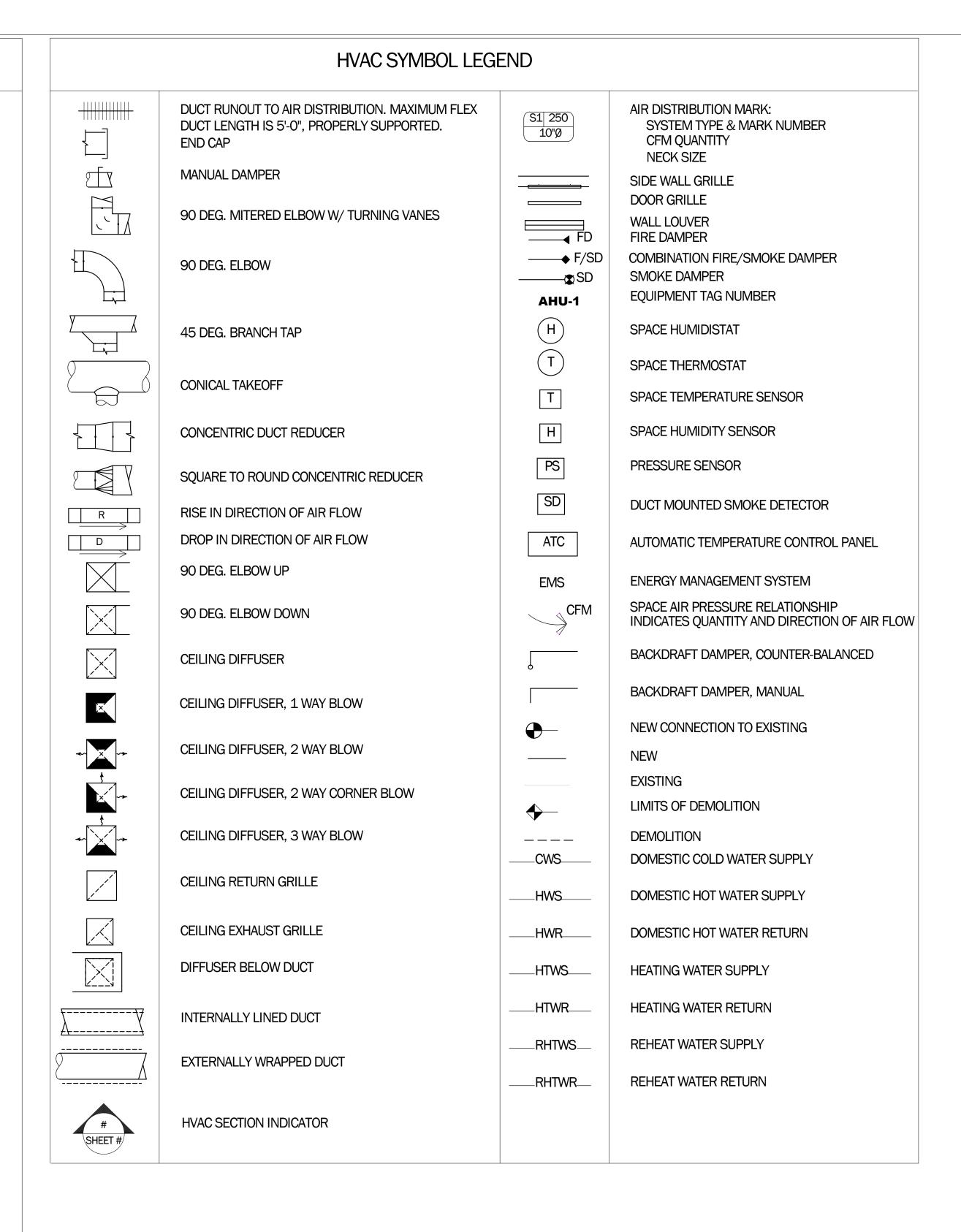
Sheet Number 15 of 23

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ABBREVIATIONS		
AD AFF AFS AI AO AHU BOP BFV BFP BAS BVU	ACCESS DOOR ABOVE FINISHED FLOOR AIR FLOW STATION ANALOG INPUT ANALOG OUTPUT AIR HANDLING UNIT BOTTOM OF PIPE BUTTERFLY VALVE BACKFLOW PREVENTER BUILDING AUTOMATION SYSTEM BUILDING VENTILATION UNIT	
CFM COMBN COMBU COND	CUBIC FEET PER MINUTE COMBINATION COMBUSTION AIR CONDITIONING CONDENSATE	
DI DN DO DXC	DIGITAL INPUT DOWN DIGITAL OUTPUT DIRECT EXPANSION COIL	
EA EMS ERV	EXHAUST AIR ENERGY MANAGEMENT SYSTEM ENERGY RECOVERY VENTILATOR	
FD FS/D FWE	FIRE DAMPER FIRE & SMOKE DAMPER FURNISHED WITH EQUIPMENT	
GPM GF	GALLONS PER MINUTE GAS FURNACE	
HR HTWR HTWS IAW LL MBH MCA MFG MIN MOCP MSCU MSE MUW MVD NG	HEAT RECOVERY HEATING WATER RETURN HEATING WATER SUPPLY IN ACCORDANCE WITH LIQUID LINE 1000 BTUH MINIMUM CIRCUIT AMPACITY MANUFACTURER MINIMUM MAXIMUM OVER-CURRENT PROTECTION MINI-SPLIT CONDENSING UNIT MINI-SPLIT EVAPORATOR MAKE-UP WATER MOTORIZED VOLUME DAMPER NATURAL GAS	
OFE OSA	OWNER FURNISHED EQUIPMENT OUTSIDE AIR	
PLBG PTAC	PLUMBING PACKAGED THRU-WALL AIR CONDITIONER	
RA REFRIG RL RS SL SA SD SD STM SYS	RETURN AIR REFRIGERANT REFRIGERANT LIQUID REFRIGERANT SUCTION SUCTION LINE SUPPLY AIR SMOKE DAMPER SUCTION DIFFUSER STEAM SYSTEM	
TDV TYP	TRIPLE DUTY VALVE TYPICAL	
VFD VD WT	VARIABLE FREQUENCY DRIVE MANUAL VOLUME DAMPER VARIABLE VOLUME TERMINAL	
!>! < >	LESS THAN OR EQUAL TO GREATER THAN OR EQUAL TO LESS THAN GREATER THAN	

CON	TROL SYMBOL LEGEND
PS	STATIC AIR OR WATER PRESSURE SENSO
DP	DIFFERENTIAL PRESSURE SENSOR
FS	FREEZESTAT, MANUAL RESET
VFD	VARIABLE FREQUENCY DRIVE
VS	VOLUME PROBE AND TRANSMITTER, AIR FLOW MEASURING
SD	SMOKE DETECTOR
Е	ELECTRIC ACTUATOR
Т	TEMPERATURE SENSOR
T	THERMOSTAT
Н	HUMIDITY SENSOR
(CR)	CURRENT SENSING RELAY
MS	MOTOR STARTER
FAS	FIRE ALARM SYSTEM
FZ	FREEZE STAT
AFS	AIR FLOW STATION
P	DIFFERENTIAL PRESSURE SENSOR

PIPING SYMBOL LEGEND		
	BALL VALVE	
— <del>`</del>	BALANCING VALVE WITH PRESSURE TAPS	
	DRAIN VALVE	
	GATE VALVE	
	THREE WAY	
<u> </u>	UNION	
<u> </u>	PRESSURE/TEMPERATURE TEST PORT	
<u> </u>	AUTOMATIC AIR VENT	
— <del>—</del> —	GLOBE VALVE	
——————————————————————————————————————	BUTTERFLY VALVE	
<u>M</u> —-	BUTTERFLY VALVE WITH MOTORIZED OPERATOR	
	CHECK VALVE	
	REDUCED PRESSURE BACK-FLOW PREVENTOR	
	PRESSURE REDUCING VALVE	
	STRAINER WITH BLOW-DOWN VALVE	
	FLANGE	
+ + + + + + + + + + + + + + + + + + + +	PLUG VALVE	
	AUTOFLOW VALVE	
	IN-LINE PUMP	
	DIAL THERMOMETER	
	PRESSURE GAUGE WITH GAUGE COCK	
	STEM THERMOMETER WITH THERMOWELL	
	PIPE ELBOW	
	PIPE ELBOW DOWN	
	TEE	
	TEE DOWN	
——————————————————————————————————————	CONDENSATE DRAIN (INSULATE PER SPECS) REFRIGERANT SUCTION (INSULATE PER SPECS) REFRIGERANT LIQUID NATURAL GAS	



NOTE: THIS IS A STANDARD LEGEND. ALL ITEMS SHOWN MAY NOT APPEAR ON DRAWINGS.



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MECHANICAL ABBREVIATIONS, LEGENDS, & SYMBOLS

Sheet Number 1 of 8

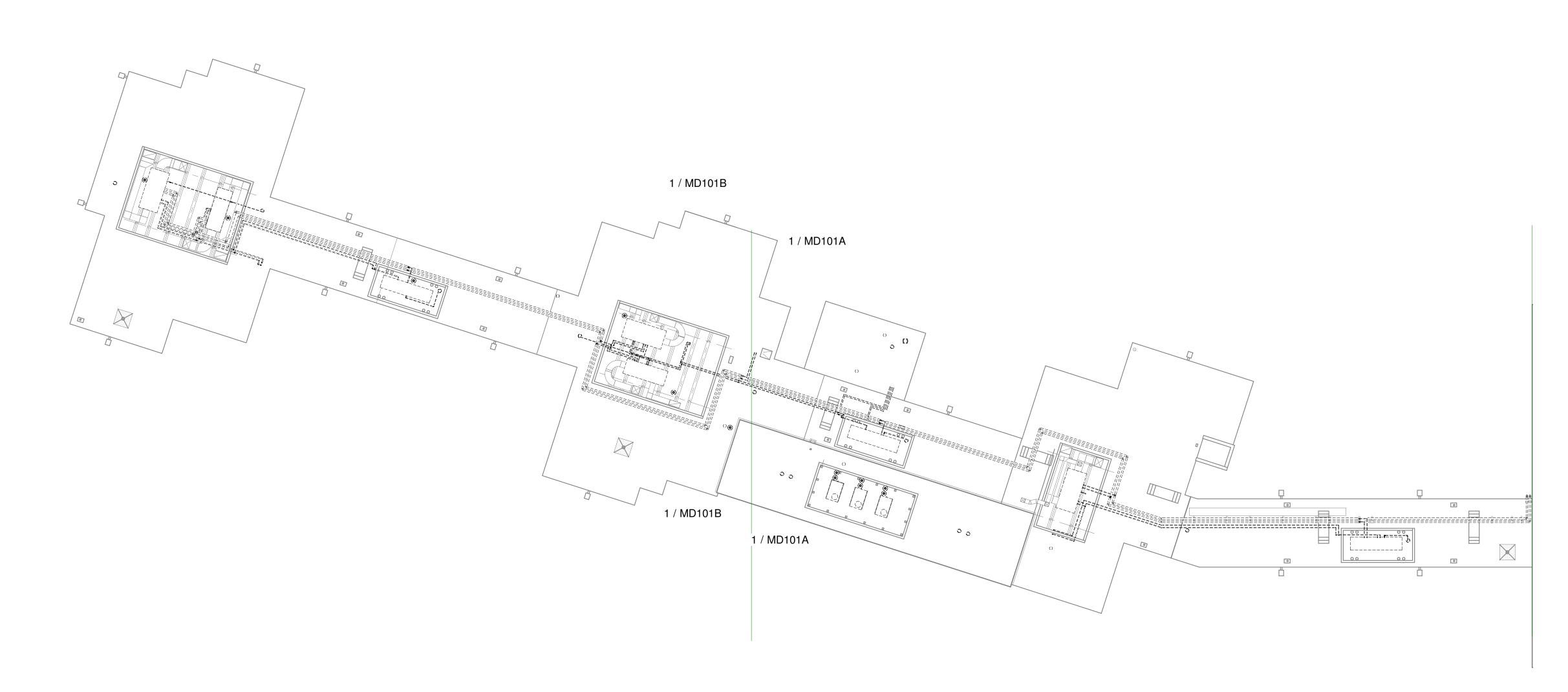
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### **HVAC DEMOLITION GENERAL NOTES**

- ALL INFORMATION AND WORK SHOWN AS EXSITING WAS TAKEN FROM NOTES OR CURSORY FIELD VISITS BY THE ENGINEER AND FROM PAST CONSTUCTION DOCUMENTS. EQUIPMENT, DUCTWORK, AND PIPING HAVE BEEN SHOWN IN AN APPROPRIATE WAY AND HAVE NOT BEEN INDENPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. CONSEQUENTLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMING ALL WORK NECESSARY TO RENOVATE, ALTER, CHANGE, AND REPAIR EXISTING SYSTEMS BASED UPON THE ACTUAL FIELD CONDITIONS.
- 2 BEFORE PRECEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING, AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- 3 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO REMAINING STUCTURES, OR SYSTEMS (PLUMBING, ELECTRICAL) RESULTING FROM THE PERFORMANCE OF THE SCOPE OF DEMOLITION OF MECHANICAL EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- 4 CONTRACTOR SHALL ENSURE THAT REMAINING FACILITIES MAINTAIN FUNCTIONALITY DURING THE DEMOLITION OF MECHANICAL EQUIPMENT.

### PLUMBING DEMOLITION GENERAL NOTES

- BEFORE PRECEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACIING, SHORING AND OTHER SAFEGUARDS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE FROM THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- 2 CONTRACTOR SHALL ENSURE THAT REMAINING FACILITIES MAINTAIN FUNCTIONALITY DURING THE DEMOLITION.
- THE PLUMBING CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATED CONSTRUCTION WHETHER OR NOT SPECIFICALLY NOTED AND INCLUDING BUT NOT LIMITED TO THE FOLLOWING: REMOVAL OF PLUMBING FIXTURES, TRIM, SUPPLIES, TRAPS, CLEANOUTS, DRAINS, WATER HEATERS, PUMPS, VALVES, RELVATED PIPING, ETC. THAT MIGHT REASONABLY BE REQUIRED TO BE REMOVED IN PREPARATION FOR INSTALLATION OF NEW CONSTRUCTION, SPECIFIED FIXTURES OR OTHER EQUIPMENT REQUIRING PLUMBING.
- REPAIR TO MATCH EXISTING ALL DAMAGE DONE TO WALLS, FLOORS, AND CEILINGS AS A RESULT OF THIS WORK.
- 5 CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS BEFORE THE START OF ANY WORK.
- 6 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO REMAINING STRUCTURES, OR SYSTEMS (PLUMBING, MECHANICAL, ELECTRICAL) RESULTING FROM THE PERFORMANCE OF THE SCOPE OF DEMOLITION AT NO ADDITIONAL COST TO THE OWNER.



1 MECHANICAL DEMO PLAN
1" = 20'-0"



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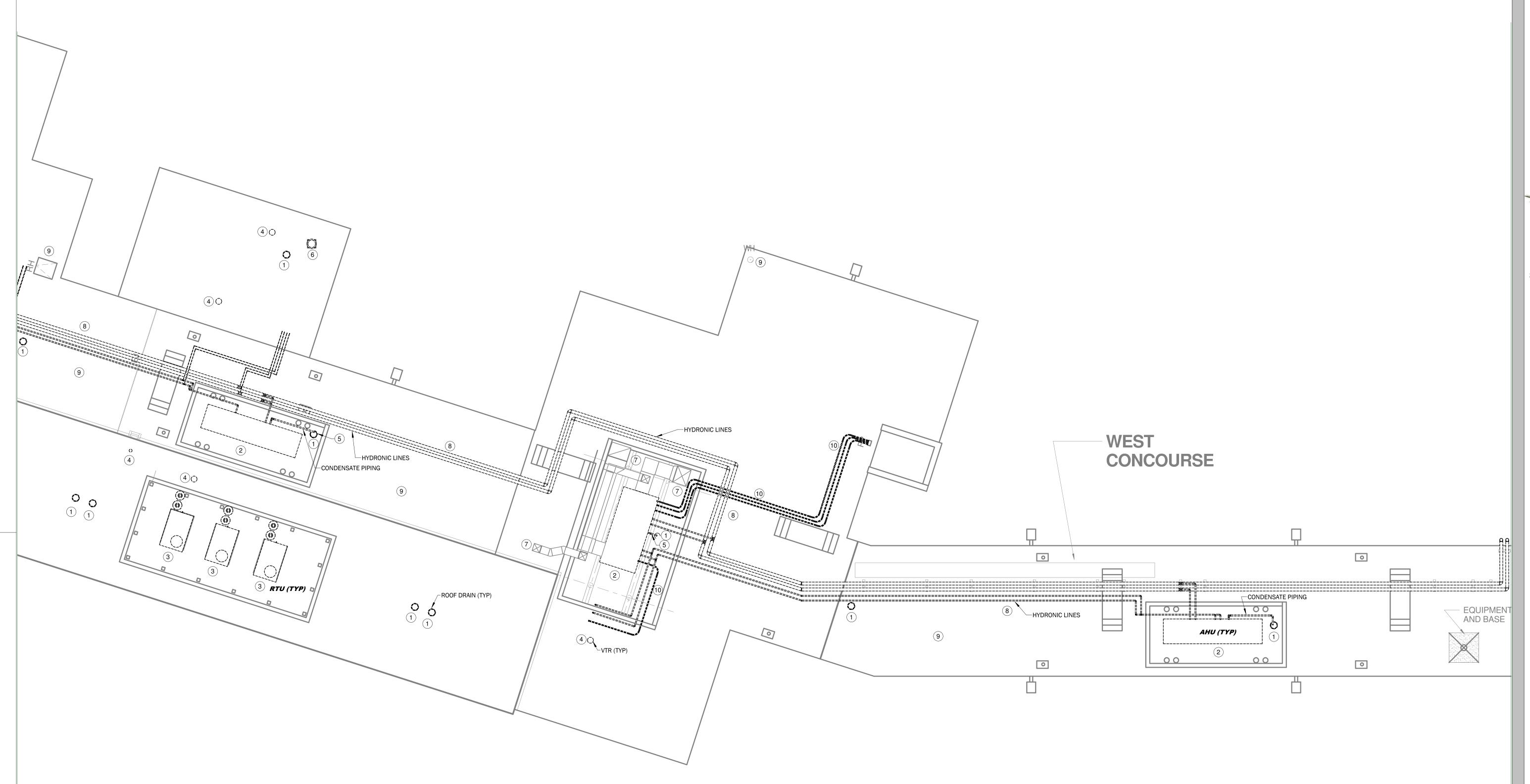
ROOF REPLACEMENT FOR THE
WEST CCONCOURSE
JACKSON MUNICIPAL AIRPORT AUTHORITY

Project Number:	18.010
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MECHANICAL DEMO PLAN OVERALL

Sheet Number 6 of 8

**MD101** 



## **KEYNOTES**

1 DEMO EXISTING ROOF DRAIN, CONTRACTOR TO MAKE NECESSARY MODIFICATION TO LEADER FOR CONNECTION OF NEW ROOF DRAIN THRU NEW ROOF.

2 EXISTING AIR HANDLER UNIT TO BE TAGGED, DISCONNECTED AND STORED FOR REUSE. LEAVE ROOF CURB, HYDRONIC PIPING, AND ELECTRICAL SERVICE IN PLACE FOR RECONNECTION TO EXISTING AIR HANDLER UNIT.

3 EXISTING ROOF TOP UNIT TO BE TAGGED, DISCONNECTED AND STORED FOR REUSE. LEAVE ROOF CURB AND ELECTRICAL SERVICE IN PLACE FOR RECONNECTION TO EXISTING ROOF TOP.

4 EXISTING VENT THRU ROOF SHALL BE CUT BELOW ROOF DECK AND PIPING DISCARDED.

5 DEMO EXISTING CONDENSATE DRAIN PIPING.

6 EXISTING ROOF EXHAUST FAN TO BE TAGGED, REMOVED AND STORED FOR REUSE, PROVIDED NEW CURB EXTENSION AND BELTS. CLEAN AND SERVICE FAN PRIOR TO RE-INSTALLATION.

7 EXISTING DUCT TO REMAIN IN PLACE - FLASH AND COUNTERFLASH.

8 EXISTING HYDRONIC PIPING TO REMAIN IN SERVICE AND WILL NEED TO BE TEMPORARY SUPPORTED DURING RE-ROOFING PROCESS.

9 ALL REMAINING VENTS, CURBS, ETC. ON ROOF TO BE RE-FLASHED AND COUNTER FLASHED INTO NEW ROOF.

10 EXISTING WIRING TO REMAIN IN SERVICE. DEMO EXISTING JUNCTION BOXES AND CONDUIT JUST BELOW ROOF. TEMPORARILY PROTECT WIRING FROM DAMAGE AND WEATHER.

1/8" = 1'-0"



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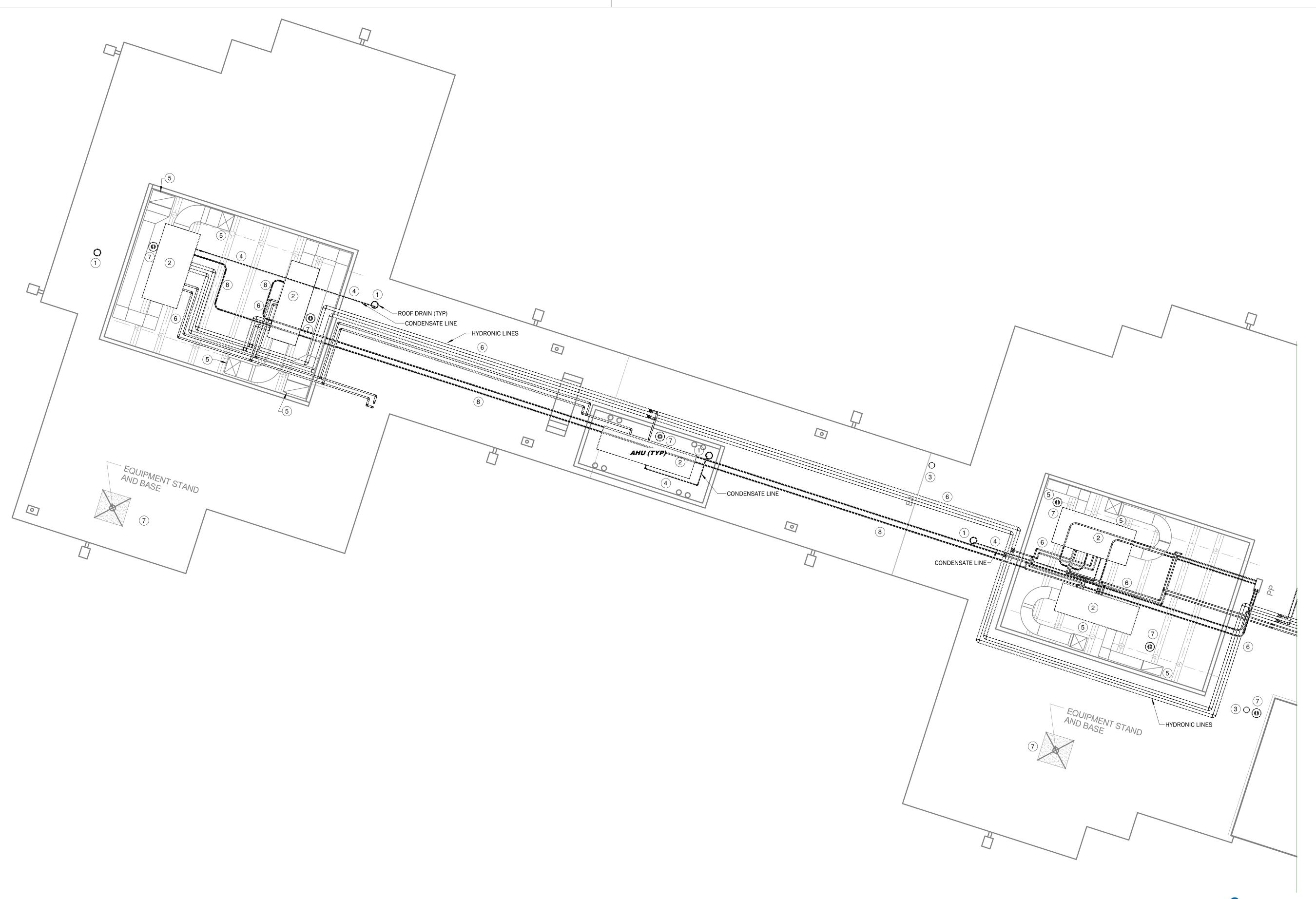


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MECHANICAL DEMO **PLAN WEST** CONCOURSE ROOF

Sheet Number 7 of 8

MD101A



# **\* KEYNOTES**

- 1 DEMO EXISTING ROOF DRAIN, CONTRACTOR TO MAKE NECESSARY MODIFICATION TO LEADER FOR CONNECTION OF NEW ROOF DRAIN THRU NEW ROOF.
- 2 EXISTING AIR HANDLER UNIT TO BE TAGGED, DISCONNECTED AND STORED FOR REUSE. LEAVE ROOF CURB, HYDRONIC PIPING, AND ELECTRICAL SERVICE IN PLACE FOR RECONNECTION TO EXISTING AIR HANDLER UNIT.
- 3 EXISTING VENT THRU ROOF SHALL BE CUT BELOW ROOF DECK AND PIPING DISCARDED.
- 4 DEMO EXISTING CONDENSATE DRAIN PIPING.
- 5 EXISTING DUCT TO REMAIN IN PLACE FLASH AND COUNTERFLASH.
- 6 EXISTING HYDRONIC PIPING TO IN SERVICE AND WILL NEED TO BE TEMPORARY SUPPORTED DURING RE-ROOFING PROCESS.
- 7 ALL REMAINING VENTS, CURBS, ETC. ON ROOF TO BE RE-FLASHED AND COUNTER FLASHED INTO NEW ROOF.
- 8 EXISTING WIRING TO REMAIN IN SERVICE. DEMO EXISTING JUNCTION BOXES AND CONDUIT JUST BELOW ROOF. TEMPORARILY PROTECT WIRING FROM DAMAGE AND WEATHER.

1 MECHANICAL DEMO PLAN B 1/8" = 1'-0"



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MECHANICAL DEMO **PLAN WEST** CONCOURSE ROOF

Sheet Title

Sheet Number 8 of 8

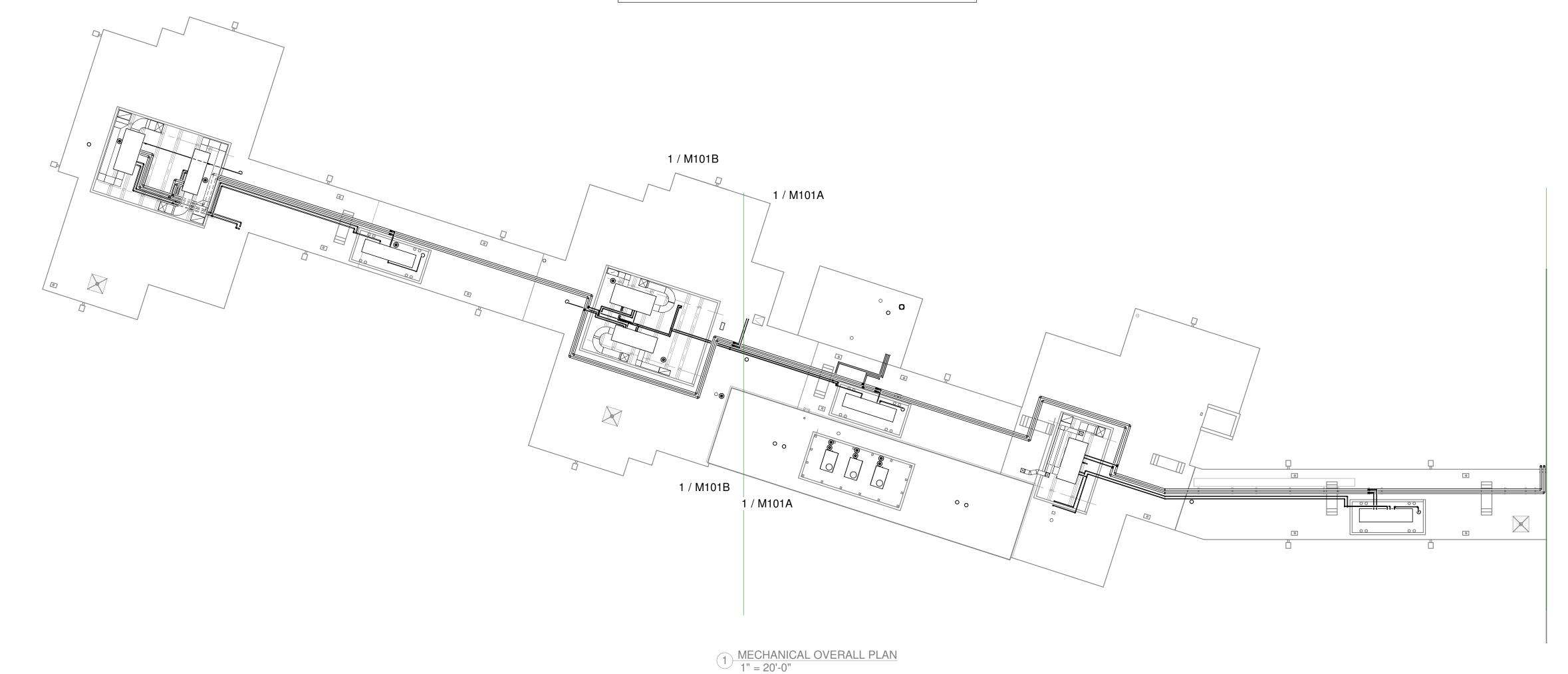
**MD101B** 

### **HVAC GENERAL NOTES**

- 1. THE CONTRACTOR SHALL MAKE ALL FIELD MEASUREMENTS AND SHOP DRAWINGS NECESSARY FOR FABRICATION AND ERECTION OF HVAC DUCTWORK. DUCTWORK AND RELATED EQUIPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NFPA 90A, NFPA 90B AND THE SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) HVAC DUCT CONSTRUCTION STANDARDS METAL & FLEXIBLE.
- 2. DUCT SUPPORTS SHALL BE IN ACCORDANCE WITH THE SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA-DCS), PLAN DETAILS AND SPECIFICATIONS.
- 3. SEAL ALL SEAMS AND JOINTS IN SHEET METAL DUCTS WITH SOLVENT BASED SEALANT PER SPECIFICATIONS.
- 4. USE RADIUS FITTINGS IN ALL SYSTEMS UNLESS CONDITIONS PROHIBIT THEIR USE. RADIUS TURNS IN SHEET METAL DUCTS SHALL BE MADE USING STANDARD RADIUS TYPE ELBOWS. SQUARE TURNS IN SHEET METAL DUCTS SHALL HAVE DOUBLE WALL VANED ELBOWS.
- 5. WHERE DUCTWORK IS TO BE FASTENED TO THE INTAKE OR DISCHARGE OF HVAC EQUIPMENT, A FLEXIBLE CONNECTION OF "VENT GLASS" FABRIC, OR APPROVED EQUAL, SHALL BE PROVIDED BETWEEN THE DUCTWORK AND EQUIPMENT.
- 6. THESE PLANS ARE NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS, IT IS INTENDED THAT THE SPECIFIED HVAC SYSTEM BE PROVIDED COMPLETE WITH ALL NECESSARY EQUIPMENT, APPURTENANCES AND CONTROLS AND COMPLETELY COORDINATED WITH ALL OTHER CRAFTS AND DISCIPLINES. INSTALLATION OF HVAC UNITS, DUCTWORK, FIRE DAMPERS, VENT PIPING, FIRE STOPS, CONDENSATE LINES AND REFRIGERANT LINES SHALL COMPLY WITH LOCAL BUILDING CODES, DRAWINGS AND SPECIFICATIONS.
- 7. CONTRACTOR SHALL RECORD ALL EXISTING CONDITIONS REGARDING ROOF CURB HEIGHTS AND MECHANICAL EQUPMENT HEIGHT ABOVE ROOF AND EXTEND DUCTWORK AND ROOF CURB AS NECESSARY FOR THE INSTALLATION OF NEW ROOFING SYSTEM.
- 8. CONTRACTOR SHALL VERIFY ALL OUTSIDE AIR INTAKE DUCT OPENINGS AND EXHAUST AIR DUCT OPENINGS ARE A MINIMUM OF 6" ABOVE ROOF SURFACE. CONTRACTOR SHALL EXTEND OUTSIDE AIR INTAKE DUCT OPENINGS AND EXHAUST AIR DUCT OPENINGS TO 6" ABOVE NEW ROOF SURFACE THAT DO NOT MEET THE 6" MINIMUM REQUIREMENT.
- 9 CONTRACTOR SHALL TEMPORARILY RAISE AND SUPPORT ANY ELECTRICAL CONDUIT, HYDRONIC PIPING, REFRIGERANT PIPING, AND CONDENSATE PIPING TO ALLOW FOR THE INSTALLATION OF THE NEW ROOFING SYSTEM. TEMPORARY COOLING AND HEATING AND POWER SHALL BE PROVIDED AS NEEDED TO ENSURE SPACES ASSOCIATED WITH THE ELECTRICAL CONDUIT, HYDRONIC PIPING, REFRIGERANT PIPING, AND CONDENSATE PIPING OPERATE AS NORMAL.
- 10 CONTRACTOR SHALL DOCUMENT LOCATION AND ROUTING OF EXISITING LIGHTING RODS AND CABLING AND REINSTALL TO ORIGINAL CONDITION AND PER APPLICABLE CODES.

### PLUMBING GENERAL NOTES

- COORDINATE ALL WORK BETWEEN TRADES. PIPE ROUTING SHOWN IS DIAGRAMMATIC, PROVIDE ALL OFFSETS, ETC., TO AVOID INTERFERENCES WITH EQUIPMENT, PIPING, DUCTWORK, LIGHTS, CONDUIT, ETC..
- INSTALL ALL ROOF DRAINS PER MANUFACTURER RECOMMENDATIONS AND INSTRUCTIONS. REPLACE ALL DAMAGED PIPING AND INSULATION WITHIN 5' OF ROOF DRAIN OUTLET. CONSULT MECHANICAL ENGINEER OF RECORD REGARDING ANY ADDITIONAL PIPING AND INSULATION REPLACEMENT OVER 5' FROM ROOF DRAIN OUTLET.
- 3. CONTRACTOR SHALL VERIFY ALL VENT THROUGH ROOF PIPING IS A MINIMUM OF 16" ABOVE ROOF SURFACE. CONTRACTOR SHALL EXTEND ALL VENT THROUGH ROOF PIPING TO 16" ABOVE NEW ROOF SURFACE THAT DOES NOT MEET THE 16" MINIMUM REQUIREMENT.





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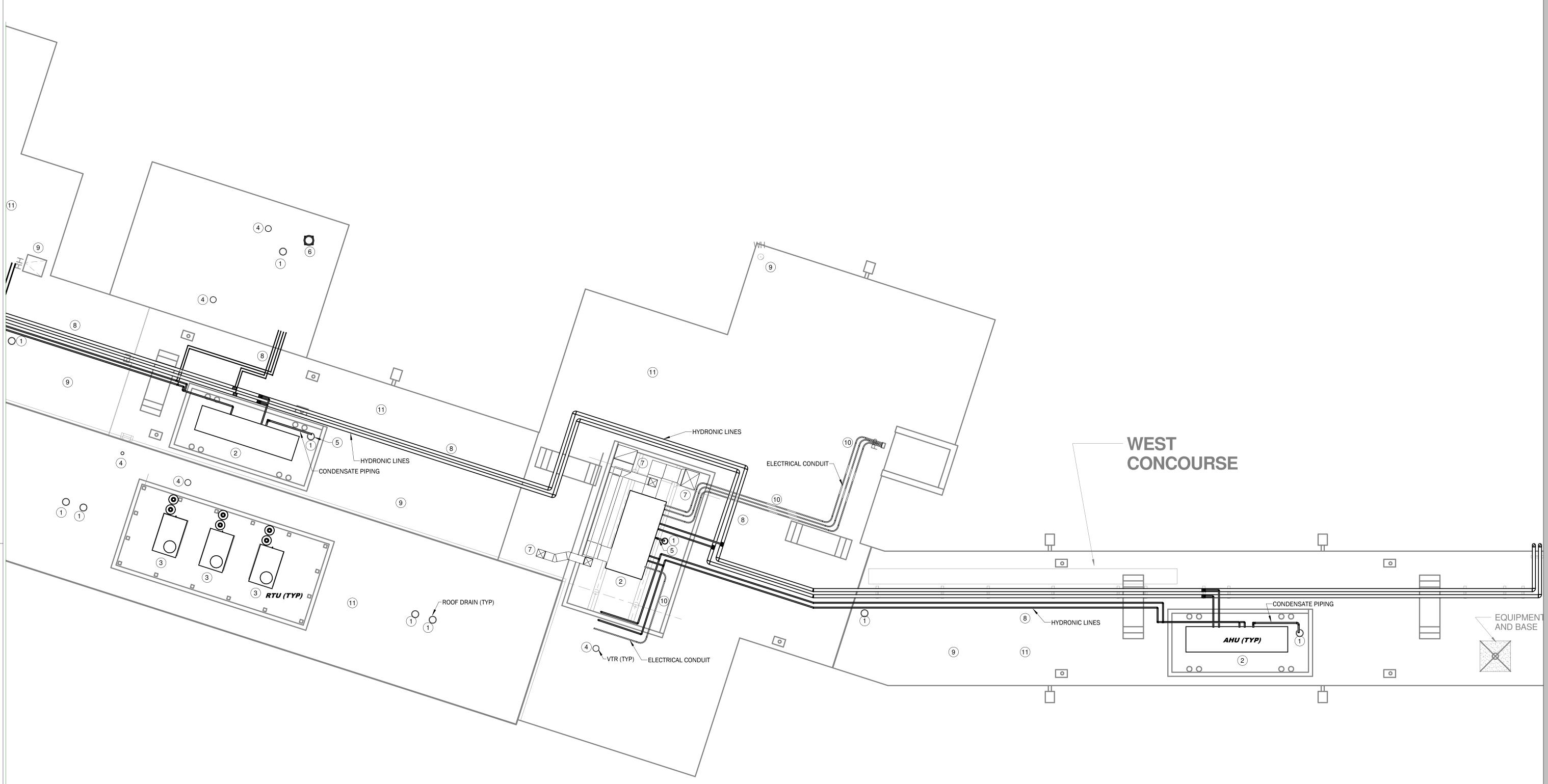
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ROOF REPLACEMENT FOR THE WEST CCONCOURSE JACKSON MUNICIPAL AIRPORT AUTHOR

MECHANICAL PLAN OVERALL

Sheet Number 2 of 8

M101



## **\* KEYNOTES**

- 1 EXTEND ROOF DRAIN LEADER THRU NEW ROOF AND CONNECT TO NEW ROOF DRAIN ZURN MODEL Z100 OR APPROVED EQUAL.
- 2 RE-INSTALL EXISTING AHU ON EXISTING ROOF CURB WITH NEW CURB EXTENSION. NEW CURB EXTENSION SHALL BE SUFFICIENT HEIGHT TO ALLOW FOR PROPER CONDENSATE TRAP DEPTH AS RECOMMENDED BY AHU MANUFACTURER. RECONNECT EXISTING HYDRONIC LINES, MODIFY HYDRONIC LINES AS REQUIRED. RECONNECT ELECTRICAL, MODIFY ELECTRICAL AS REQUIRED. RECONNECT EXISTING SUPPLY AND RETURN DUCT, MODIFY AS REQUIRED. EXISTING AHU SHALL BE PUT BACK IN SERVICE FULLY OPERATIONAL INCLUDING UNIT CONTROLS.
- 3 RE-INSTALL EXISTING RTU ON EXISTING ROOF CURB WITH NEW CURB EXTENSION. NEW CURB EXTENSION SHALL BE SUFFICIENT HEIGHT TO ALLOW FOR PROPER CONDENSATE TRAP DEPTH AS RECOMMENDED BY RTU MANUFACTURER. RECONNECT ELECTRICAL, MODIFY ELECTRICAL AS REQUIRED. RECONNECT EXISTING SUPPLY AND RETURN DUCT, MODIFY AS REQUIRED. EXISTING RTU SHALL BE PUT BACK IN SERVICE FULLY OPERATIONAL INCLUDING UNIT CONTROLS. 4 EXTEND PLUMBING VENT THRU NEW ROOF TO A MINMUM OF 16" ABOVE ROOF DECK. VENT LINE SHALL BE CUT BELOW ROOF DECK. PROVIDE AND INSTALL NEW EXTENSIONS AND CONNECT WITH FLEXIBLE RUBBER COUPLINGS. NEW VENT EXTENSIONS TO MATCH EXISTING PIPING MATERIAL AND SIZE. CONTRACTOR SHALL VERIFY VENT LINE IS LOCATED 10' OR MORE FROM ANY BUILDING INTAKE OR OUTSIDE AIR INTAKE. ANY VENT LINE LOCATED WITHIN 10' OF ANY
- BUILDING INTAKE OR OUTSIDE AIR INTAKE SHALL BE RELOCATED AT NO ADDITIONAL COST TO THE OWNER. 5 NEW CONDENSATE PIPING. NEW CONDENSATE PIPING SHALL BE SUPPORTED FROM THE ROOF WITH MIFAB C510 (OR EQUAL) ROOF PIPE SUPPORTS. CONDENSATE PIPING FROM EACH RTU/AHU TO BE ROUTED TO THE NEAREST ROOF DRAIN AS INDICATED.
- 6 RE-INSTALL EXHAUST FAN. RECONNECT ELECTRICAL, MODIFY ELECTRICAL AS REQUIRED. EXISTING EXHAUST FAN SHALL BE PUT BACK INTO SERVICE FULLY OPERATIONAL INCLUDING UNIT CONTROLS. VERIFY AND RELOCATE AS
- NECESSARY ANY EXHAUST FAN LOCATED WITHIN 10' OF ANY BUILDING INTAKE OR OUTSIDE AIR INTAKE AT NO ADDITIONAL COST TO THE OWNER. 7 EXISTING DUCT TO REMAIN IN PLACE - FLASH AND COUNTERFLASH.
- 8 PROVIDE NEW PIPE SUPPORTS FOR EXISTING HYDRONIC PIPING.
- 9 ALL REMAINING VENTS, CURBS, ETC. ON ROOF TO BE RE-FLASHED AND COUNTER FLASHED INTO NEW ROOF.
- 10 INSTALL NEW CONDUIT JUNCTION BOXES AND SUPPORTS FOR EXISTING ELECTRICAL WIRING.
- 11 LIGHTNING PROTECTION SYSTEM TO BE INSTALLED BY NICET CERTIFIED COMPANY AND TECHNICIAN. CONTRACTOR TO PROVIDE DOCUMENT OF NICET CERTIFIED LIGHTING PROTECTION SYSTEM FOR ROOF WITH CLOSE OUT DOCUMENTS.

1 MECHANICAL PLAN A
1/8" = 1'-0"



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MECHANICAL PLAN WEST CONCOURSE

Sheet Number 3 of 8

**M101A** 



1 EXTEND ROOF DRAIN LEADER THRU NEW ROOF AND CONNECT TO NEW ROOF DRAIN ZURN MODEL Z100 OR APPROVED EQUAL.

2 RE-INSTALL EXISTING AHU ON EXISTING ROOF CURB WITH NEW CURB EXTENSION. NEW CURB EXTENSION SHALL BE SUFFICIENT HEIGHT TO ALLOW FOR PROPER CONDENSATE TRAP DEPTH AS RECOMMENDED BY AHU MANUFACTURER. RECONNECT EXISTING HYDRONIC LINES, MODIFY HYDRONIC LINES AS REQUIRED. RECONNECT EXISTING SUPPLY AND RETURN DUCT, MODIFY AS REQUIRED. EXISTING AHU SHALL BE PUT BACK IN SERVICE FULLY OPERATIONAL INCLUDING UNIT CONTROLS.

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5 EXISTING DUCT TO REMAIN IN PLACE - FLASH AND COUNTERFLASH.

6 PROVIDE NEW PIPE SUPPORTS FOR EXISTING HYDRONIC PIPING.

7 ALL REMAINING VENTS, CURBS, ETC. ON ROOF TO BE RE-FLASHED AND COUNTER FLASHED INTO NEW ROOF.

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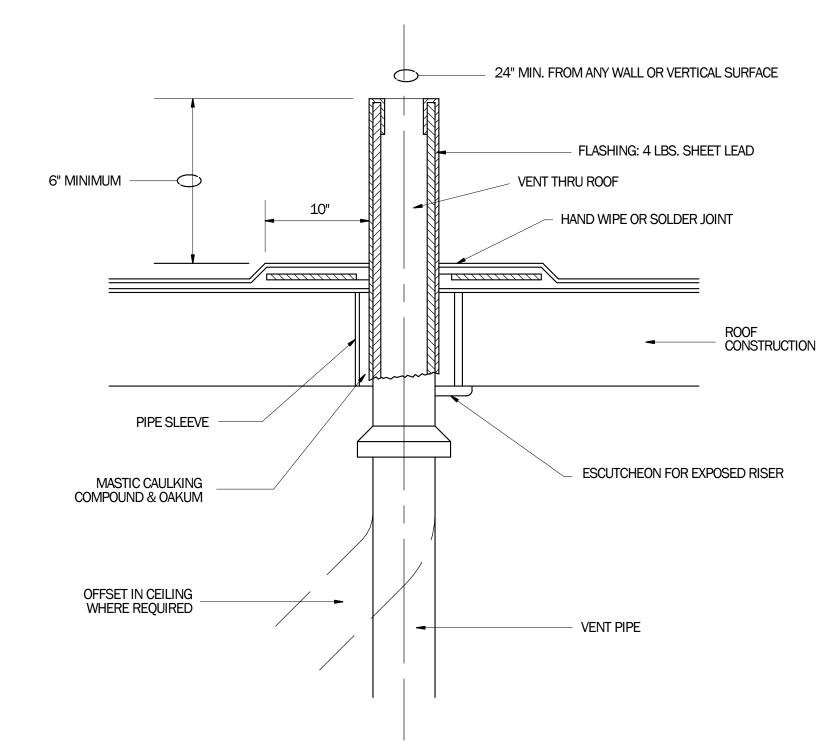
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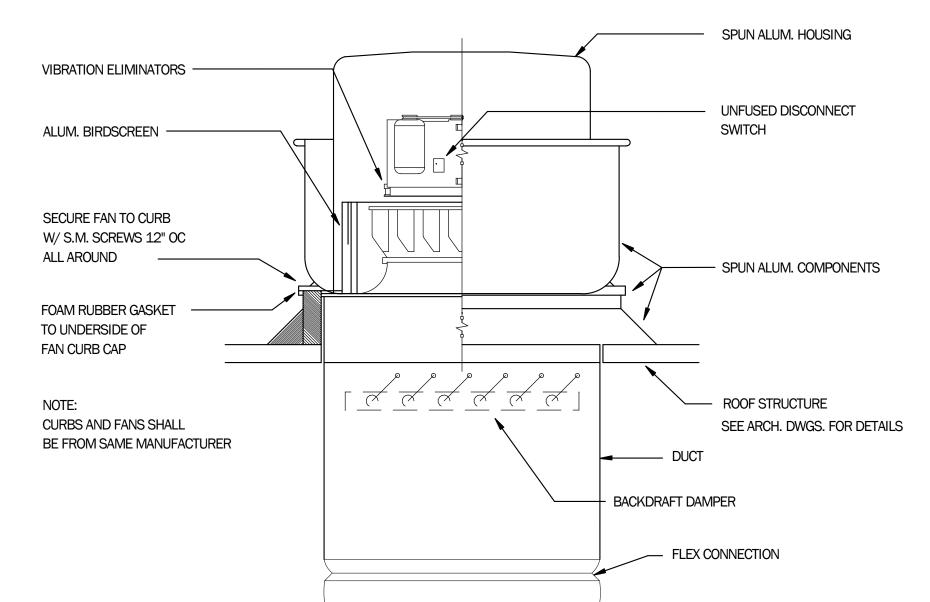
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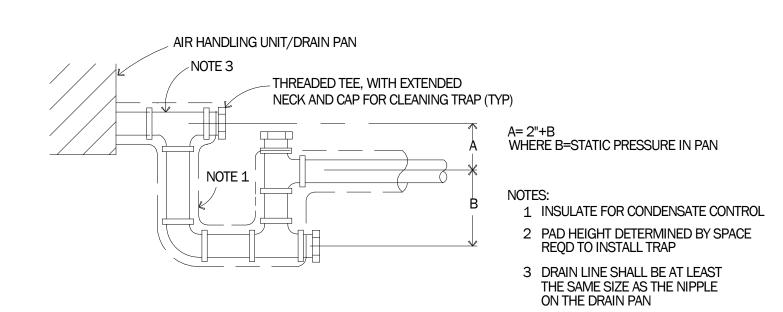
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#### VENT THRU ROOF DETAIL NOT TO SCALE M400



# ROOF MOUNTED CENTRIFUGAL EXHAUST FAN DETAIL





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INTEGRATED MANAGEMENT



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07/08/2020

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> **MECHANICAL DETAILS**

Sheet Number 5 of 8 **M400**